



Agenda
Meeting of the Municipal Council
Wednesday, March 25, 2026
REGULAR MEETING 6:00 PM

I. Executive Session - 4:00 p.m.

A. 2026-158 Resolution Authorizing A Meeting Which Excludes The Public

B. Public Safety

1. Police Monthly Report: February 2026

C. Contract Negotiation

1. Block 3901, Lots 6, 7, 8 AND 9 (901 Kingsley Avenue and 201-209 First Avenue)

2. 1150 Kingsley Street (Block 4001, Lot 2.01), 201-203 Third Avenue (Block 4001, Lot 2.02), and 202-204 Fourth Avenue (Block 4001, Lot 2.03)

D. Attorney-Client Privilege

II. Workshop Session - 6:00 p.m.

Call to Order/Roll Call

Silent Prayer/Moment of Reflection

Salute to the Flag

Announcement - Open Public Meetings Act

As to comply with the "Open Public Meetings Act," Chapter 231, P.L. 1975, adequate Notice of this meeting has been provided in the following manner: The Annual Notice was forwarded to the Asbury Park Press, The Coaster and The Star Ledger on January 15, 2026, and posted on the bulletin board the same date. All notices are on file with the City Clerk.

Items to be Presented:

1. Proclamation

Big Brother Big Sister of Coastal & Northern New Jersey 50th Anniversary

Special Event Applications

Matters from City Council

Matters from City Manager

Matters from City Attorney

2. Presentation by AP BLOCK 3904 GARAGE URBAN RENEWAL, LLC /AP BLOCK 3904 VENTURE URBAN RENEWAL, LLC for redevelopment of Block 3904, Lot 1, 110 First Avenue

III. Regular Meeting

A. Public Participation

B. Minutes

Executive Meeting Minutes: March 11, 2026

Regular Meeting Minutes: March 11, 2026

C. Consent Agenda Resolutions

All matters listed on the Consent Agenda are presented collectively to the City Council, and will be considered for approval with one vote. These matters are considered to be routine in nature, and there will be no individual discussion of these items. If discussion is desired by one or more Council member(s) as to any particular item(s), then said item(s) shall be removed from the Consent Agenda and considered separately

2026-159 Resolution Approving Special Event Applications

2026-160 Resolution Authorizing Payment To S Brothers Inc. For Snow Removal

2026-161 Resolution Authorizing the Purchase of a PPE Washer-Extractor for the Fire Department

2026-162 Resolution Amending Temporary Budget Appropriations For 2026 Budget

2026-163 Resolution Amending Resolution 2026-141, "Resolution Approving a Person to Person Liquor License Transfer of Plenary Retail License Number 1303-33-009 From Asbury Music Company Inc. to Newberry Liquor License, LLC"

D. Individual Resolutions

2026-164 Resolution Authorizing Payment Of Bills

2026-165 Resolution Approving Change Order #7 Through #11 And Request To Exceed 20% Change Order Threshold For The Asbury Park Boardwalk Restroom Project

2026-166 Resolution Authorizing a Professional Services Contract for State Police Accreditation Maintenance

2026-167 Resolution Authorizing The Withdrawal Of A Bid And Authorizing Negotiations And Awarding Of A Contract Without The Need For Public Advertising Of Bids For Towing Services

2026-168 Resolution of the Mayor and Council of The City of Asbury Park, Acting in its Capacity as the Waterfront Redevelopment Entity, Authorizing the Issuance of a Certificate of Completion to AP Block 4001 Venture Urban Renewal LLC for the Redevelopment Project Located upon the Property Located at 1150 Kingsley Street (Block 4001, Lot 2.01), 201-203 Third Avenue (Block 4001, Lot 2.02), and 202-204 Fourth Avenue (Block 4001, Lot 2.03) known as Surfhouse

2026-169 Resolution Of The City Of Asbury Park In Support Of Senate Bill 399 Requiring Ownership Information When Residential Rental Housing Is Purchased By Limited Liability Corporations

E. Ordinances

1. Public Hearing/Second Reading

2026-7 2026 CAP Rate Ordinance

2026-8 Ordinance Of The City Of Asbury Park Amending The City Code To Re-Locate The Tree Removal And Replacement Ordinance Into A New Chapter 23, To Be Entitled "Tree Removal And Replacement" And To Make Minor Changes

F. Adjournment



RESOLUTION - 2026-158

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION AUTHORIZING A MEETING WHICH EXCLUDES THE PUBLIC

BE IT RESOLVED by the Mayor and Council of the City of Asbury Park that this body will hold a meeting on [redacted] Council Chambers located at 1 Municipal Plaza, Asbury Park, New Jersey, that will be limited only to consideration of [redacted] respect to which the public may be excluded pursuant to section 7b of the Open Public Meetings Act. The general nature of the subject or subjects to be discussed are as follows:

1. Public Safety
 - a. Police Monthly Report February 2026
2. Contract Negotiations:
 - a. Block 3901, Lots 6, 7, 8 AND 9 (901 Kingsley Avenue and 201-209 First Avenue)
 - b. 1150 Kingsley Street (Block 4001, Lot 2.01), 201-203 Third Avenue (Block 4001, Lot 2.02), and 202-204 [redacted]
3. Attorney-Client:

The public is excluded from said meeting, and further notice is dispensed with, all in accordance with section 8 a

ANTHONY CUCCI
CITY CLERK

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the contents of RESOLUTION NO. 2026-___ which was finally adopted by the City Council at a meeting held on the ___ day of ___

CERTIFIED BY ME THIS __ DAY OF ____, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK

October 28, 2025

VIA ELECTRONIC DELIVERY

Michele Alonso, AICP, PP
Director of Planning and Redevelopment
City of Asbury Park
One Municipal Plaza
Asbury Park, NJ 07712

**Re: AP BLOCK 3904 GARAGE URBAN RENEWAL, LLC and
AP BLOCK 3904 VENTURE URBAN RENEWAL, LLC
Block 3904, Lot 1 (“Property”)
Parking Garage and Rental Housing
Third Request to Present to the City Council as Redevelopment Entity**

Dear Ms. Alonso:

This firm represents APW Redveloper LLC and its related entities AP Block 3904 Garage, LLC (to become AP Block 3904 Garage Urban Renewal, LLC) and AP Block 3904 Venture, LLC (to become AP Block 3904 Venture Urban Renewal, LLC) (collectively, “Applicant”), all affiliates of Asbury Partners LLC (“Master Developer”), in connection with this supplemental submission to the City Council as the redevelopment entity for the City of Asbury Park Waterfront Redevelopment Area. Applicant proposes to construct a **parking garage** (with approximately 225 public parking spaces and 97 parking spaces for residential use) wrapped by a 5-story multi-family building offering 54 units of **rental housing** (the “Project”) on Block 3904, Lot 1.

Applicant previously submitted its Application to the City Council on November 26, **2024**, and requested to present the project to the City Council at a public meeting. The submission included:

- Application for Review by the Redevelopment Entity;
- Project Narrative, prepared by Heyer Gruel & Associates;
- Site Plans prepared by Colliers Engineering & Design dated June 6, 2022, last revised August 5, 2024, consisting of ten (10) Sheets;
- Minor Subdivision Plan prepared by Colliers Engineering & Design, dated October 30, 2023, consisting of 2 sheets;
- Architectural Plans, prepared by MVMK Architecture, dated August 29, 2023, last revised September 11, 2024, consisting of twelve (12) Sheets;

October 28, 2025

Page 2

- Landscape Plan, prepared by BML Studio, dated May 20, 2023, last revised November 20, 2024, consisting of one (1) Sheet; and
- Disclosure of Political Contribution Certifications.

Copies of those plans are enclosed again for reference. Please note two changes have occurred since the submission of these materials, but such changes are not reflected on the previously submitted plans:

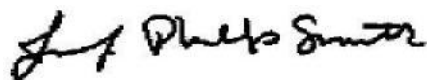
1. Applicant is no longer seeking a subdivision. Instead, Applicant intends for the property to become a condominium, with the rental housing project and the parking garage being constructed within separate condominium units; and
2. Although the plans reflect a maximum of 333 parking spaces, some parking spaces may be lost in the final building design. Therefore, Applicant is currently projecting a total of approximately **322 parking spaces, inclusive of 97 residential spaces and 225 spaces available to the public.** The exact number of parking spaces will be determined through the final design process, but there will be no fewer than 200 spaces available to the public.

On January 22, 2025, Applicant again contacted the Council to request a date to make a presentation and for approval of Subsequent Developer Agreements. To date, a presentation has not been scheduled.

Following subsequent discussions with the City, Master Developer is now proposing to design and construct improvements to the Wesley Lake weir to alleviate flooding in the vicinity of the Property. Enclosed please find two draft Subsequent Developer Agreements that address the construction of the parking garage, the rental housing, and the weir project.

We request that Applicant be scheduled to present these projects to the Council at its next meeting on **November 12, 2025**, and that the Council consider the Subsequent Developer Agreement on **November 25, 2025**.

Sincerely,



Jennifer Phillips Smith
Director

cc: Brian A. Cheripka
David J. Furgal

CITY OF ASBURY PARK
ONE MUNICIPAL PLAZA
ASBURY PARK, NEW JERSEY 07712

PHONE: (732) 775-2100
WWW.CITYOFASBURYPARK.COM



JOHN MOOR, MAYOR
AMY QUINN, DEPUTY MAYOR
EILEEN CHAPMAN, COUNCILPERSON
YVONNE CLAYTON, COUNCILPERSON
JESSE KENDLE, COUNCILPERSON

MICHAEL N. CAPABIANCO, CITY MANAGER
CINDY A. DYE, RMC, CITY CLERK

Application for Review by the Redevelopment Agency

FILL IN ALL BLANKS

PROPERTY LOCATION: 110 First Avenue **Block:** 3904 **Lot(s):** 1

1. APPLICANT INFORMATION:

Name: APW Redeveloper, LLC

Address: 1089 Ocean Avenue, Unit 3, Asbury Park, NJ 07712

Phone # 732-774-3378 Fax: 732-744-1172

Email: dfurgal@starfieldcompanies.com

2. ATTORNEY INFORMATION:

Name: Jennifer Phillips Smith, Esq.

Address: 141 West Front Street, Suite 240, Red Bank, NJ 07701

Phone #: 732-704-5818 Fax: 732-865-7248

Email: jsmith@gibbonslaw.com

3. ARCHITECT INFORMATION:

Name: Frank Minervini - MVMK Architecture and Design

Address: 360 14th Street, Hoboken, NJ 07030

Phone #: 201-386-0637 Fax: 201-386-0628

Email: frankminervini@mvmkarchitecture.com

4. ENGINEER INFORMATION:

Name: Robert J. Curley - Colliers Engineering & Design, Inc. DBA Maser Consulting

Address: 331 Newman Springs Rd., Red Bank, NJ 07701

Phone #: 732-383-1950 Fax: 732-383-1984

Email: robert.curley@colliersengineering.com

5. PRESENT OWNER (If not applicant)

Name: Asbury Partners LLC

Address: 1089 Ocean Avenue, Unit 3, Asbury Park, NJ 07712

Phone #: 732-774-3378 Fax: 732-744-1172

Email: dfurgal@starfieldcompanies.com

6. Interest of applicant, if other than owner: Affiliate of Owner

7. Existing Use Surface Parking Lot

Block 3904 Lot 1

8. Primary Zone WRA Infill Zone _____ Other _____

9. Property is located in zone WRA as per Asbury Park Land Development Ordinance.

10. Property is is not located in a Historical District.

Historic District _____.

11. Lot Size 44,629 Sq. ft. Size of Structure(s) See Plans total sq. ft.

12. Percentage of Impervious area See Plans % Total # of Units 54

Building Height 61'-4" Stories 5.5

13. Proposed Amendment(s) to plan:

None



Applicant Signature

CHECKLIST FOR APPLICATION¹ TO
REDEVELOPMENT AGENCY

C	N	N/A	
			ALL PLANS, FORMS & APPLICATION MUST BE FOLDED AND COLLATED INTO SETS for each board member/professional.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1. Fifteen (15) copies of the application form.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2. Fifteen (15) copies of Concept Site Plan. Six (6) full-size sets at 24"x36" and Nine (9) 11"x17" size sets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	3. Fifteen (15) copies of Elevations of Building (4 sides).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	4. Fifteen (15) copies of Proposed Floor Plans (not construction plans). Six (6) full-size sets at 24"x36" and Nine (9) 11"x17" size sets.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	5. Fifteen (15) copies of Detail information sufficient to describe architectural character, material and colors.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	6. Fifteen (15) copies of Roof Top Detail (Vertical Detail & Surface Layout).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	7. Affidavit of Application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	8. Contribution Disclosure Statement <i>for each</i> applicant and professional.

C=Complete N=Incomplete N/A=Not Applicable

All architectural engineering prints must be folded and collated.

Please note, further submission to the Planning Board and/or the Redevelopment Agency will require additional submissions and more detailed application forms. Requirements of the Waterfront Redevelopment Plan of the City of Asbury Park and any applicable sections of the Revised General Ordinances of the City of Asbury Park Volume II, Chapter 30 Land Development Regulations.

¹Adopted by Ordinance #2684 by the City of Asbury Park May 19, 2004
²Adopted by Ordinance #2680 by the City of Asbury Park April 7 2004

AFFIDAVIT OF APPLICATION

State of New Jersey}
County of Monmouth) SS:

Brian A. Cheripka of full age, being duly sworn according to law,
on oath depose and say that all the above statements are true.

Oliver G Monaghan
NOTARY PUBLIC
State of New Jersey
ID # 50222637
My Commission Expires 6/14/2029

Signature of Applicant

Sworn to and subscribed before me,

This 25 day of November 20 24.

Oliver G. Monaghan
Notary Public - State of New Jersey

AUTHORIZATION

N/A

(If anyone other than the owner is making application, the following authorization must be executed).

is hereby authorized to make the within application.

Date: Signature of Owner

Block 3904, Lot 1 Project Narrative

Description of Proposed Development

The applicant proposes the development of a new 5-story residential building that wraps a 5.5 level parking structure. The subject property is located at a prominent intersection of Kingsley Street and 1st Avenue. The Empress hotel is located immediately to the east, with the hotel’s surface parking lot at the corner of Asbury Avenue and Kingsley Street abutting the property to the south. The design strategy uses the residential building to wrap and shield the parking structure from view on the Kingsley Street and 1st Avenue sides of the building. The south and east sides of the garage will be exposed, but the applicant will utilize an artistic treatment to make the visible portion of the garage an asset to the area.

Vehicular access to the garage will be provided from 1st Avenue with a right turn in / right turn out design. Next to the driveway is a separate loading area that can accommodate a typical rental truck that would be used for move-in / move-out and for refuse collection.

The parking structure will provide much needed publicly accessible parking in the WRA. A total of **333** parking spaces are proposed – 81 spaces for the residential units (1.5 spaces per unit, which is consistent with the WRP requirements) and **252** for public use. The Redevelopment Plan has always envisioned a parking structure at this location. The integration of a residential project with the parking diminishes the visual impact and provides a project consistent with the permitted height and bulk requirements of the Plan. A dedicated public lobby will provide access to the parking in a location with convenient access to the beach and boardwalk.

The residential component of the project has 54 units with a lobby and amenity space. The units are broken down in the following mix:

1 BR (640-744 SF)	1 BR + Den (952-965 SF)	2 BR (942–1,257 SF)	2BR + Den (1,497 SF)	3 BR (1,092–1,177 SF)
13	4	26	2	9

The applicant proposes to subdivide the subject property into two proposed lots—Lot 1.01 and Lot 1.02. Proposed Lot 1.01 will be approximately 15,483 square feet and proposed Lot 1.02 will be approximately 29,146 square feet. The applicant will seek variance relief for proposed Lot 1.02, as the proposed lot frontage is 5.08 feet along Kingsley Street and 44.90 feet along First Avenue, where 100 feet is required.

Consistency with the Waterfront Redevelopment Plan

The development advances the City’s goal of creating a public parking facility at the subject property. The Parking section of the WRP states that “off-street parking will be supplemented by the construction of a 200 or more space facility behind the Empress Hotel.” The proposed **252** spaces for public use meet and exceed the envisioned parking for the block.

The proposed development complies with the lot area, building height, scale, use, and density requirements in the Plan. The general architectural design is consistent with the goals and principles of the WRP. The Plan calls for develop(ing) new residential buildings that are compatible with and extend Asbury Park’s Oceanside character in a contemporary way.

The unit mix in the project is almost exactly as envisioned by the overall Plan with 31% One-Bedroom units, 52% Two-Bedroom units, and 17% Three-Bedroom units. The unit mix includes several designs with dens and a range of square footages that creates flexibility for different size households and living arrangements.

Architectural Design

The project design utilizes a contemporary style with a color palette consistent with the exterior finish of the Empress Hotel to the east and the Vive development to the west across Kingsley Street. Textured finish elements will create visual interest at the ground floor, building corner, and central of the building area along First Avenue. A textured metal wood-look accent material will break up the façade massing at balconies and vertical breaks at the focal corner point at the intersection of First Avenue and Kingsley Street.

The south side of the building will include an exposed portion of the parking structure adjacent to the Empress Hotel parking lot. As outlined in the amended architectural design guidelines for parking structures, the masonry portions of the structure will be finished with artistic elements that enhance the visual impact of the structure. The applicant will seek any required approvals for the art walls from the Asbury Park Municipal Council and Public Art Commission.

Relief Requested from the WRP

The following exceptions from architectural design standards in the WRP are noted:

WRP Page	Requirement	Proposal
61	Balconies shall be visibly supported by brackets and shall not exceed 3 feet in depth.	Brackets are not proposed for the balconies, and the balcony depth is 4’
62	Windows shall be made of painted aluminum, wood or vinyl.	“Intus” UPVC reinforced steel windows are proposed. There is no aesthetic difference.
62	Doors shall be painted wood or composite wood.	The doors are not proposed to be painted or composite wood.
62	Doors shall be side hinged (no sliders.)	Sliding doors are proposed for balcony access.
62	There shall be no flush mounted windows.	Flush mounted windows are proposed.
62	Windows shall be single, double, triple-hung, or operable casements.	Some fixed window units are proposed
62	Windows in the same rough opening shall be separated by a 4 inch minimum post.	Posts are less than 4”

64	A void-to-solid ratio of no more than 45% is permitted for each façade.	Over 45% is proposed at street facades
64	Multiple balconies, if required, shall be confined to the rear and side elevations.	Multiple balconies are proposed on the First Avenue and Kingsley Street facades.
66	Façade colors shall be selected from the color wheel quadrant that encompasses the lighter saturations of the yellow-to-red quadrant, in addition to white.	White, gray, and cream colors are used.

PROPERTY OWNERS WITHIN 200 FT.

Mun/BI/L/Q	Owner	CSZ
1304-3903-1.0303-C0003	KLEIN STUART & AMY	805 KINGSLEY ST UNIT 3
1304-3903-1.0304-C0004	CALABRESE ELIZABETH R	805 KINGSLEY ST UNIT 4
1304-3903-1.0305-C0005	BARKATZ-STEWART CATHERINE	805 KINGSLEY ST UNIT 5
1304-3903-1.0306-C0006	CAWLEY NANCY T.	4 ROBERTS DRIVE
1304-3903-1.0307-C0007	HEMS PETER J.	805 KINGSLEY ST UNIT 7
1304-3903-1.0401-C0001	LINDEMAN THOMAS & MICHAEL SCHAIBLE	136 OLD STIRLING RD
1304-3903-1.0402-C0002	BADACH GLEN & LISA	807-2 KINGSLEY STREET
1304-4502-1.06	FIRST AVENUE PAVILION LLC	1300 OCEAN AVENUE STE M1
1304-4502-1.07	MADISON ASBURY RETAIL LLC	1100 OCEAN AVENUE
1304-4503-1	ASBURY PARTNERS LLC *STAR FINANCIA	1114 AVE OF THE AMER 39FL
1304-3903-1.0403-C0003	COLLINS CAMERON & ZARSKY LAUREN	807 KINGSLEY ST UNIT 3
1304-3903-1.0404-C0004	PORECHA SUNIL M & IVOTKA TRUSTEES	807 KINGSLEY STREET UNIT4
1304-3903-1.0405-C0005	WEIGNER KERRY C.	807 KINGSLEY ST UNIT 5
1304-3903-1.0406-C0006	GREEN DANE STEELE	250 WEST 27TH ST UNIT 3J
1304-3903-1.0407-C0007	MARTUCCI JOSEPH A JR. & DEBRA L	807 KINGSLEY ST UNIT 7
1304-3903-1.0302-C0002	GILMORE KENNETH J	805 KINGSLEY ST UNIT 2
1304-3904-1	ASBURY PARTNERS LLC *STAR FINANCIA	1114 AVE OF THE AMER 39FL
1304-3904-2	EMPRESS PROPERTIES INC	57 SO MAIN ST PMB #393
1304-3901-6	LITTLE DINK LLC	601 BANGS AVENUE
1304-3903-1.0104-C0004	RINALDI MATTHEW & ELIZABETH	801 KINGSLEY ST UNIT 4
1304-3903-1.0105-C0005	TKACH WALTER S. & LINDA DAWN	801 KINGSLEY ST UNIT 5
1304-3903-1.0106-C0006	ZUTTY MARCA & KRISTI ELLSWORTH	801 KINGSLEY ST UNIT 6
1304-3903-1.0107-C0007	RIELY JOHN	801 KINGSLEY ST UNIT 7
1304-3903-1.0201-C0001	RE THOMAS A & VALLI M	803 KINGSLEY ST UNIT 1
1304-3903-1.0202-C0002	JANEWAY MICHAEL	803 KINGSLEY ST UNIT 2
1304-3903-1.0203-C0003	HECHT RICHARD & SHARI	803 KINGSLEY ST UNIT 3
1304-3903-1.0204-C0004	KELLER JOHN A & HELEN E KROH	40 COLUMBIA AVENUE
1304-3903-1.0205-C0005	SUSSNER BRADLEY D & JAIME LYNN K	8 WASHINGTON AVENUE
1304-3903-1.0206-C0006	AUERBACH KENNETH R & JOYCE A	803 KINGSLEY STREET #6
1304-3903-1.0207-C0007	RUSO JOSEPH & RUTHANN	803 KINGSLEY ST UNIT 7
1304-3903-1.0301-C0001	CORDONNIER MATTHEW K & SANDRA MOSS	805 KINGSLEY ST UNIT 1
1304-3902-5	ASBURY PARTNERS LLC *STAR FINANCIA	1114 AVE OF THE AMER 39FL
1304-3902-6	ASBURY PARTNERS LLC *STAR FINANCIA	1114 AVE OF THE AMER 39FL
1304-3903-1	VIVE ASBURY PARK CONDO ASSOC%TOWNSM	501 GRAND AVE-SUITE L2
1304-3903-1.0101-C0001	TAYLOR PATRICIA & SCHER DEIRDRE	801 KINGSLEY ST UNIT 1
1304-3903-1.0102-C0002	CARVALHO REBECCA CONSTANCE	801 KINGSLEY ST UNIT 2
1304-3903-1.0103-C0003	SCOTTI FRANK TRUSTEE	801 KINGSLEY ST UNIT 3
1304-3901-7	LITTLE DINK LLC	601 BANGS AVENUE

THE FOLLOWING UTILITY COMPANIES ARE ATTACHED TO AND MADE A PART OF THIS 200' CERTIFIED LIST AND MUST BE NOTIFIED IN ACCORDANCE WITH CHAPTER 245, P.L. OF NEW JERSEY

RICHARD S. COHEN, SECRETARY & CORPORATE COUNSEL JERSEY CENTRAL POWER AND LIGHT COMPANY 300 MADISON AVENUE MORRISTOWN, NJ 07962-1911	CABLEVISION ENGINEERING DEPARTMENT 1501 18 TH AVENUE WALL, NJ 07719
OLETA HARDEN, SR., VICE PRESIDENT AND SECRETARY NEW JERSEY NATURAL GAS COMPANY 1514 WYCKOFF ROAD PO BOX 1464 WALL, NJ 07719	ASBURY PARK ENGINEERING PUBLIC WORKS & SEWER DEPT. 9 MAIN STREET ASBURY PARK, NJ 07712
NEW JERSEY-AMERICAN WATER COMPANY, INC. C/O GENERAL TAX DEPT. PO BOX 5627 CHERRY HILL, NJ 08034	

OTHER AGENCIES TO BE NOTIFIED ON 200' CERTIFIED LISTS:

FOR RAILROAD: RUDY GUERDS, DIRECTOR PROPERTY MANAGEMENT NEW JERSEY TRANSIT CORPORATION ONE PENN PLAZA EAST, 7 TH FLOOR NEWARK, NJ 07105-2246	STATE HIGHWAY: (RT 71 & MAIN ST.) THOMAS DOWD, REGIONAL ENGINEER NJ DOT CENTRAL REGION PERMITS 100 DANIELS WAY FREEHOLD, NJ 07728
COUNTY ROADS: (ASBURY AVE & MEMORIAL DR. & SUBDIVISIONS) ROBERT W CLARK, DIRECTOR MONMOUTH COUNTY PLANNING BOARD HALL OF RECORDS ANNEX MAIN STREET FREEHOLD, NJ 07728	WATERWAYS: (OCEAN & LAKES) STATE OF NEW JERSEY DEPT OF ENVIRONMENTAL PROTECTION LAND USE MANAGEMENT & COMPLIANCE PO BOX 439 TRENTON, NJ 08625-0439

SHEET No.	DESCRIPTION
1	COVER SHEET
2	SITE DEMOLITION PLAN
3	DIMENSION
4	GRADING, DRAINAGE, & UTILITY PLAN
5-6	SOIL EROSION & SEDIMENT CONTROL PLAN
7-10	CONSTRUCTION DETAILS

PRELIMINARY/FINAL MAJOR SITE PLAN

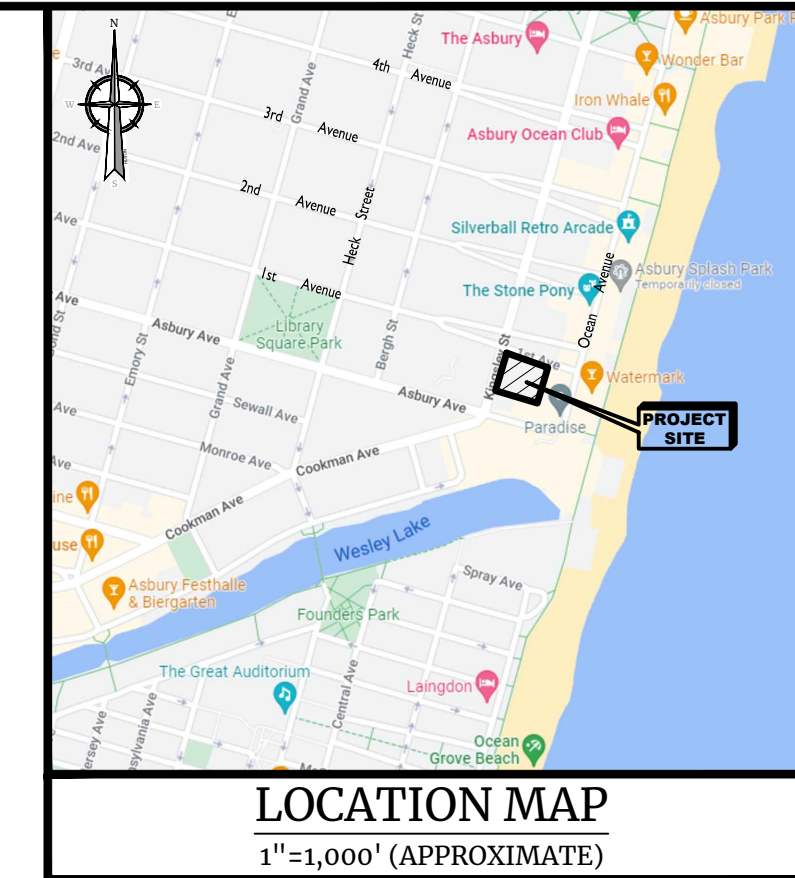
FOR

ASBURY PARK PARTNERS, LLC

BLOCK 3904, LOT 1

CITY OF ASBURY PARK

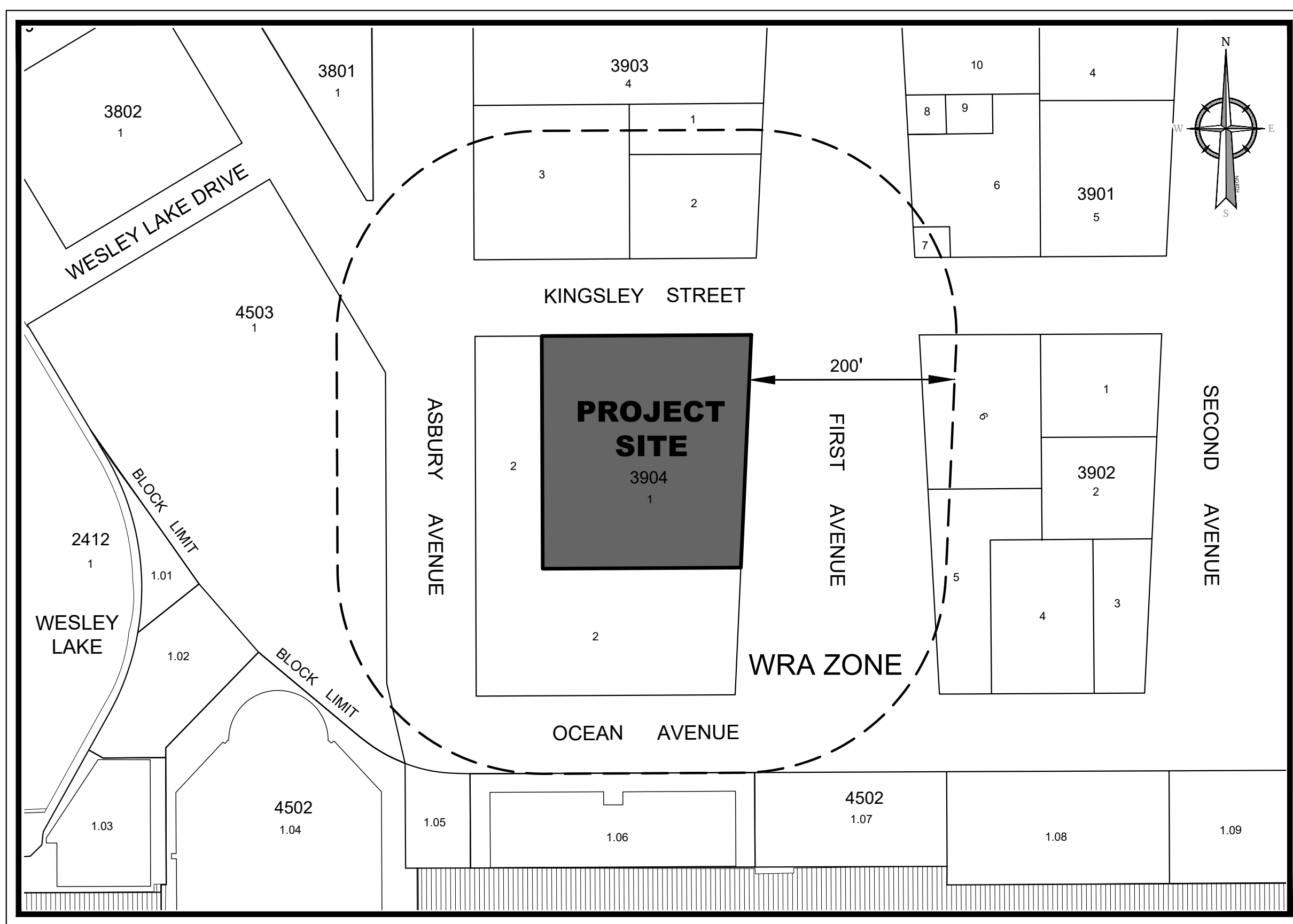
MONMOUTH COUNTY, NEW JERSEY



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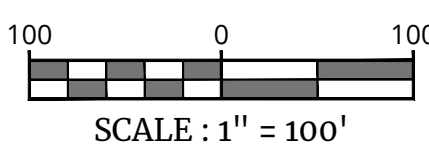


ZONE LEGEND

WRA - WATERFRONT REDEVELOPMENT AREA

KEY & ZONING MAP

SOURCE: TAX MAP



ZONING/BULK REGULATIONS

	REQUIRED	PROPOSED
MINIMUM LOT AREA:	15,000 SF	44,629 SF

PROPOSED: 54 RESIDENTIAL UNITS WITH 333 PARKING STALLS

ZONE DISTRICT: WRA	Required	Existing	Proposed - Lot 1
Minimum lot area (Sq.Ft.)	15,000	44,629	44,629
Maximum density	n/a	n/a	n/a
Maximum FAR	n/a	n/a	n/a
Minimum lot width	n/a	n/a	n/a
Minimum lot frontage (ft)	100	203.42	203.42
Minimum lot depth	n/a	n/a	n/a
Minimum front yard setback	n/a	n/a	n/a
Minimum side yard setback	n/a	n/a	n/a
Minimum combined side-yard setback	n/a	n/a	n/a
Maximum percent building cover	n/a	n/a	n/a
Maximum percent lot cover	n/a	n/a	93.8%
Maximum number of stories	8	n/a	5.5
Maximum building height	n/a	n/a	61'-4"
Minimum improvable lot area	n/a	n/a	n/a
Off-street parking spaces	134	n/a	81 RES + 252 PUBLIC
Loading spaces	n/a	n/a	n/a
Signs	n/a	n/a	n/a
Freestanding Sign Number	n/a	n/a	n/a
Freestanding Sign Area(s)	n/a	n/a	n/a
Attached Sign Number	n/a	n/a	n/a
Attached Sign Area(s)	n/a	n/a	n/a
Existing use or uses:	Temporary Parking	n/a	Residential & Parking
Proposed use or uses:	Residential & Parking	n/a	n/a
Existing floor area:	n/a	n/a	n/a
Proposed floor area:	86,342 Residential; 167,236 Garage	n/a	n/a

GENERAL INFORMATION

- COVER SHEET NOTES**
- PROJECT SITE KNOWN AND DESIGNATED AS LOT 1, BLOCK 3904, AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF THE CITY OF ASBURY PARK, MONMOUTH COUNTY, NEW JERSEY (SHEET 39) DATED DECEMBER 31, 2010, AND LAST REVISED MARCH 15, 2012 CONTAINING 44,629 SQUARE FEET.
 - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY; FOR ASBURY PARTNERS, LLC, BLOCK 3904, LOT 1, CITY OF ASBURY PARK, MONMOUTH COUNTY, NEW JERSEY" DATED 12/17/21; PREPARED BY COLLIER ENGINEERING & DESIGN.
 - HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
 - OWNER/APPLICANT**
ASBURY PARTNERS, LLC
1100 OCEAN AVENUE
ASBURY PARK, NJ 07712
 - ALL CONTRACTORS MUST CALL THE NEW JERSEY ONE CALL SYSTEM (1-800-272-1000) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO ANY DEMOLITION, CONSTRUCTION, ABANDONMENT, SOILS INVESTIGATION, AND/OR EXCAVATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
 - ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
 - CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE CITY OF ASBURY PARK, COUNTY OF MONMOUTH, (WATER COMPANY/SEWER COMPANY), AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.
 - ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.
 - CONSTRUCTION MAY REQUIRE MULTIPLE MOBILIZATIONS, CONTRACTOR SHALL COORDINATE PROPOSED WORK SCHEDULE AND APPROACH WITH OWNER.
 - ONGOING OPERATIONS MAY CONTINUE WITHIN PORTIONS OF THE FACILITY. CONTRACTOR SHALL MAINTAIN ACCESS AS APPROPRIATE AND SHALL COORDINATE WITH OWNER.
 - ALL INTERRUPTIONS TO UTILITY SERVICE, ACCESS, OR OPERATIONS OF ANY KIND REQUIRE PRIOR NOTIFICATION AND APPROVAL BY OWNER.
 - THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
 - THESE PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF (PRELIMINARY/FINAL) MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
 - CENTER SITE COORDINATES 505,033 N 631,193 E NJSPCS
 - THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES, ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
 - NO WETLANDS OR WETLAND TRANSITION AREAS EXIST ON-SITE.
 - THERE ARE NO EXISTING PUBLIC EASEMENTS OR DEED RESTRICTIONS ON BLOCK 3904.
 - ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST EDITION.
 - ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
 - ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN CITY RIGHT-OF-WAY TO BE VERTICAL CONCRETE CURBING.
 - ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
 - SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.
 - ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURB WITH 6" REVEAL UNLESS OTHERWISE STATED.
 - ALL CURBS SHALL BE DEPRESSED AT CROSSWALKS AND CONFORM TO APPLICABLE STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS.
 - ALL WALKWAYS IN THE PUBLIC RIGHT-OF-WAY TO HAVE A MAXIMUM CROSS SLOPE OF 2% AND RUNNING SLOPE OF 5% UNLESS OTHERWISE NOTED.
 - ALL GRADING WITHIN GRASSED AREAS TO BE A MINIMUM OF 2% AND A MAXIMUM OF 3:1 SLOPE UNLESS OTHERWISE NOTED.
 - ALL EXCAVATED SOIL TO BE DISPOSED SHALL BE PROPERLY CLASSIFIED, HANDLED, AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - ALL IMPORTED SOILS MUST BE CERTIFIED CLEAN FILL IN ACCORDANCE WITH THE NJDEP REQUIREMENTS SHALL 7.265. IMPORTED SOILS SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL SUBSURFACE INVESTIGATION REPORT. ALL IMPORTED MATERIAL REQUIRES APPROVAL BY OWNER PRIOR TO PLACEMENT ON-SITE.
 - ALL GRASSED AREAS TO HAVE A MINIMUM OF 4" CLEAN TOP SOIL, WHEN SOD IS BEING INSTALLED, OR 6" CLEAN TOP SOIL FOR SEEDING APPLICATIONS.
 - CONTRACTOR RESPONSIBLE FOR OBTAINING PERMITS FOR ALL ROAD OPENINGS FROM THE CITY OF ASBURY PARK AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION.
 - ALL CONSTRUCTION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY AND TO CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION.
 - SUBJECT PROPERTY LIES WITHIN SPECIAL FLOOD HAZARD AREA, ZONE AE, SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, WITH A WATER SURFACE ELEVATION OF 10, ACCORDING TO FLOOD INSURANCE RATE MAP FOR MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANELS 334 AND 332 OF 457, MAP NUMBER 3402500334H, AND 3402500332H DATE OF JANUARY 31, 2014, PREPARED BY THE FEDERAL MANAGEMENT AGENCY FOR 100-YEAR FLOOD PLAN ELEVATION.

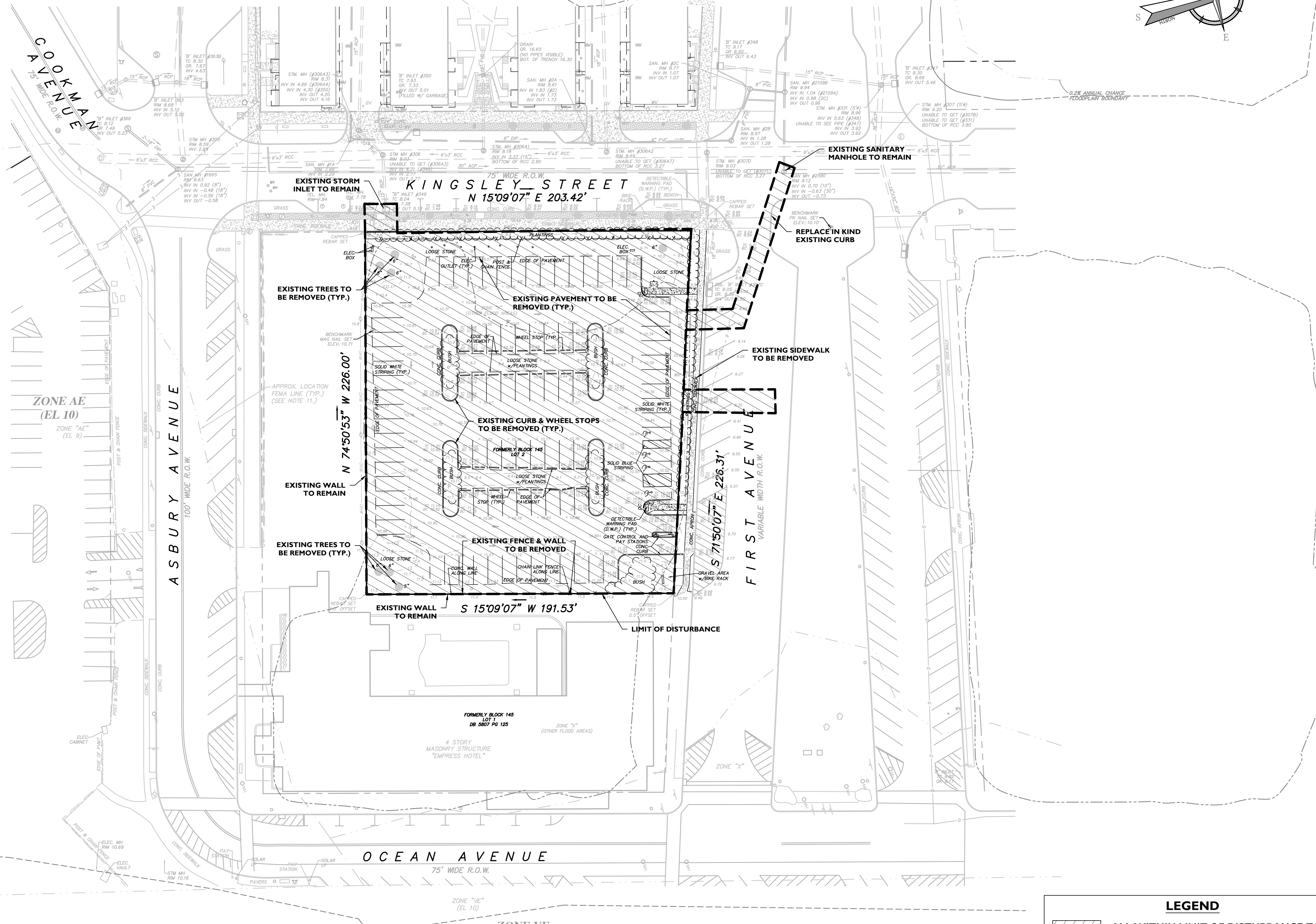
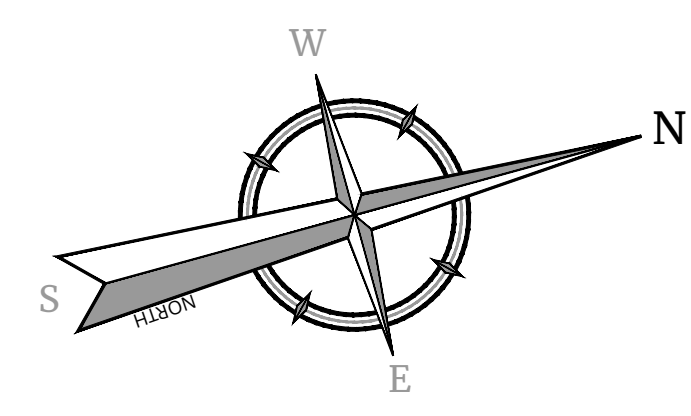
REV	DATE	DRAWN BY	DESCRIPTION
1	10/19/21	TL	REVISED PER NDEP COMMENTS.
2	11/18/21	PCS	UPDATE FOR PLANNING BOARD SUBMISSION
3	12/29/21	JAC	ADDED EROSION AND SEDIMENT CONTROL PLAN
4	02/10/24	TL	REVISED PER UPDATED ARCHITECTURAL PLAN
5	7/24/24	TL	REVISED PER UPDATED SWM DESIGN.
6	8/26/24	TL	REVISED PER NDEP COMMENTS.

Robert J. Curley
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE34705
COLLIERS ENGINEERING & DESIGN, INC.
NJ C.O.A. #: 246A2798550

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR ASBURY PARTNERS LLC
1089 OCEAN AVENUE ASBURY PARK, NJ
BLOCK 3904, LOT 1
110 FIRST AVENUE
TAXMAP SHEET 39
DATED 12/2015
CITY OF ASBURY PARK
MONMOUTH COUNTY
NEW JERSEY

Colliers
Engineering & Design
RED BANK (Headquarters)
331 Newman Springs Road,
Red Bank, NJ 07701
Suite 203
Phone: 732.383.1950
COLLIERS ENGINEERING & DESIGN, INC.
DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 6/6/22 DRAWN BY: PCS / PJC CHECKED BY: RJC
PROJECT NUMBER: 130006044E DRAWING NAME: C-COVER
SHEET TITLE: COVER SHEET
SHEET NUMBER: 1 of 10



ZONE AE (EL 10)

FORMERLY BLOCK 145 LOT 1 DB 9807 PG 125

4 STORY MASONRY STRUCTURE "EMPRESS HOTEL"

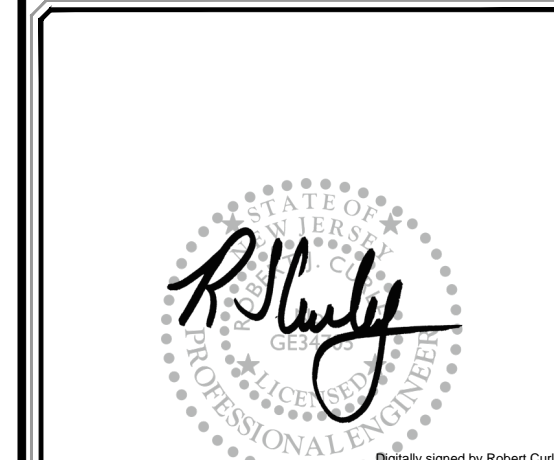
OCEAN AVENUE 75' WIDE R.O.W.

ZONE VE (EL 10)

LEGEND ALL WITHIN LIMIT OF DISTURBANCE TO BE REMOVED UNLESS OTHERWISE NOTED



REV	DATE	DRAWN BY	DESCRIPTION
1	10/18/22	TL	REVISED PER NIEP COMMENTS.
2	11/18/22	PCS	UPDATE FOR PLANNING BOARD SUBMISSION
3	12/02/22	JAC	ADDED EROSION AND SEDIMENT CONTROL PLAN
4	02/12/24	TL	REVISED PER UPDATED ARCHITECTURAL PLAN
5	7/3/24	TL	REVISED PER UPDATED SWM DESIGN.
6	8/6/24	TL	REVISED PER NIEP COMMENTS.



Robert J. Curley NEW JERSEY LICENSED PROFESSIONAL ENGINEER LICENSE NUMBER: GE34705 COLLIER'S ENGINEERING & DESIGN, INC. N.J. C.O.A. #: 246A27986590

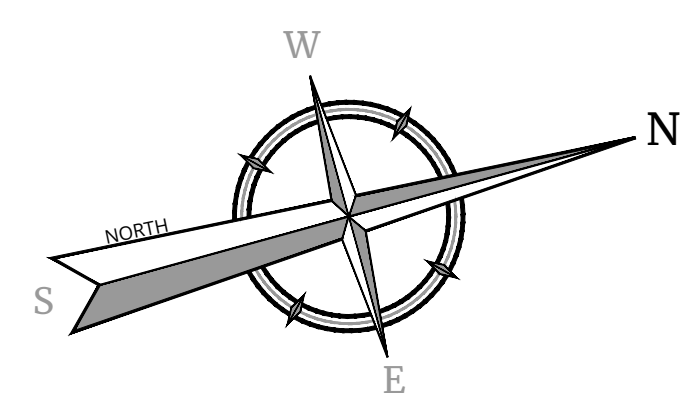
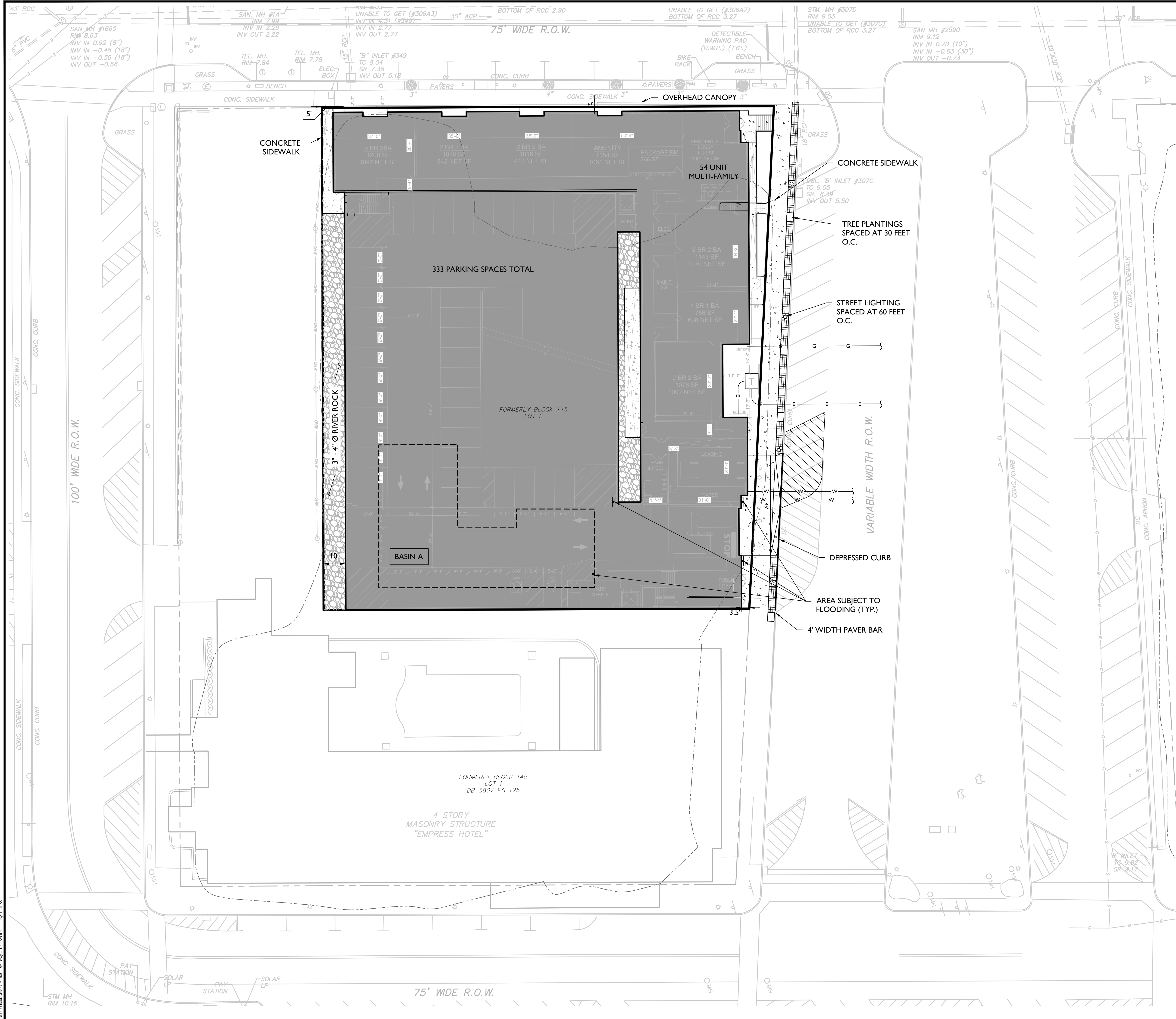
PRELIMINARY AND FINAL MAJOR SITE PLAN FOR ASBURY PARTNERS LLC 1089 OCEAN AVENUE ASBURY PARK, NJ BLOCK 3904, LOT 1 110 FIRST AVENUE TAXMAP SHEET 39 DATED 12/2015 CITY OF ASBURY PARK MONMOUTH COUNTY NEW JERSEY

Colliers Engineering & Design RED BANK (Headquarters) 331 Newman Springs Road, Suite 203 Red Bank, NJ 07701 Phone: 732.383.1950 COLLIER'S ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTANTS

SCALE: AS SHOWN	DATE: 6/6/22	DRAWN BY: PCS / PJC	CHECKED BY: RJC
PROJECT NUMBER: 13000664AE	DRAWING NAME: C-DEMO		

SHEET TITLE: SITE DEMOLITION PLAN

SHEET NUMBER: 2 of 10



REV	DATE	DRAWN BY	DESCRIPTION
1	10/18/22	TL	REVISED PER NRECF COMMENTS.
2	11/16/22	JAC	UPDATE FOR PLANNING BOARD SUBMISSION
3	12/22/22	JAC	ADDED EROSION AND SEDIMENT CONTROL PLAN
4	02/17/24	TL	REVISED PER UPDATED ARCHITECTURAL PLAN
5	7/3/24	TL	REVISED PER UPDATED SWM DESIGN.
6	8/6/24	TL	REVISED PER NRECF COMMENTS.

Robert J. Curley
PROFESSIONAL ENGINEER
Digitally signed by Robert Curley
Date: 2024.08.05 16:47:51-0400

Robert J. Curley
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE34705
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 24GA-27986500

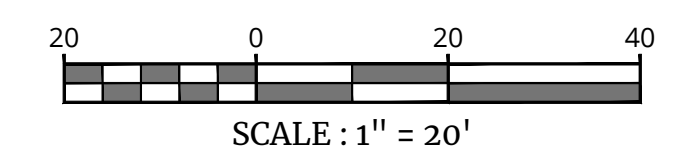
PRELIMINARY AND FINAL MAJOR SITE PLAN
FOR
ASBURY PARTNERS LLC
1089 OCEAN AVENUE
ASBURY PARK, NJ
BLOCK 3904, LOT 1
110 FIRST AVENUE
TAXMAP SHEET 39
DATED 12/2015
CITY OF ASBURY PARK
MONMOUTH COUNTY
NEW JERSEY

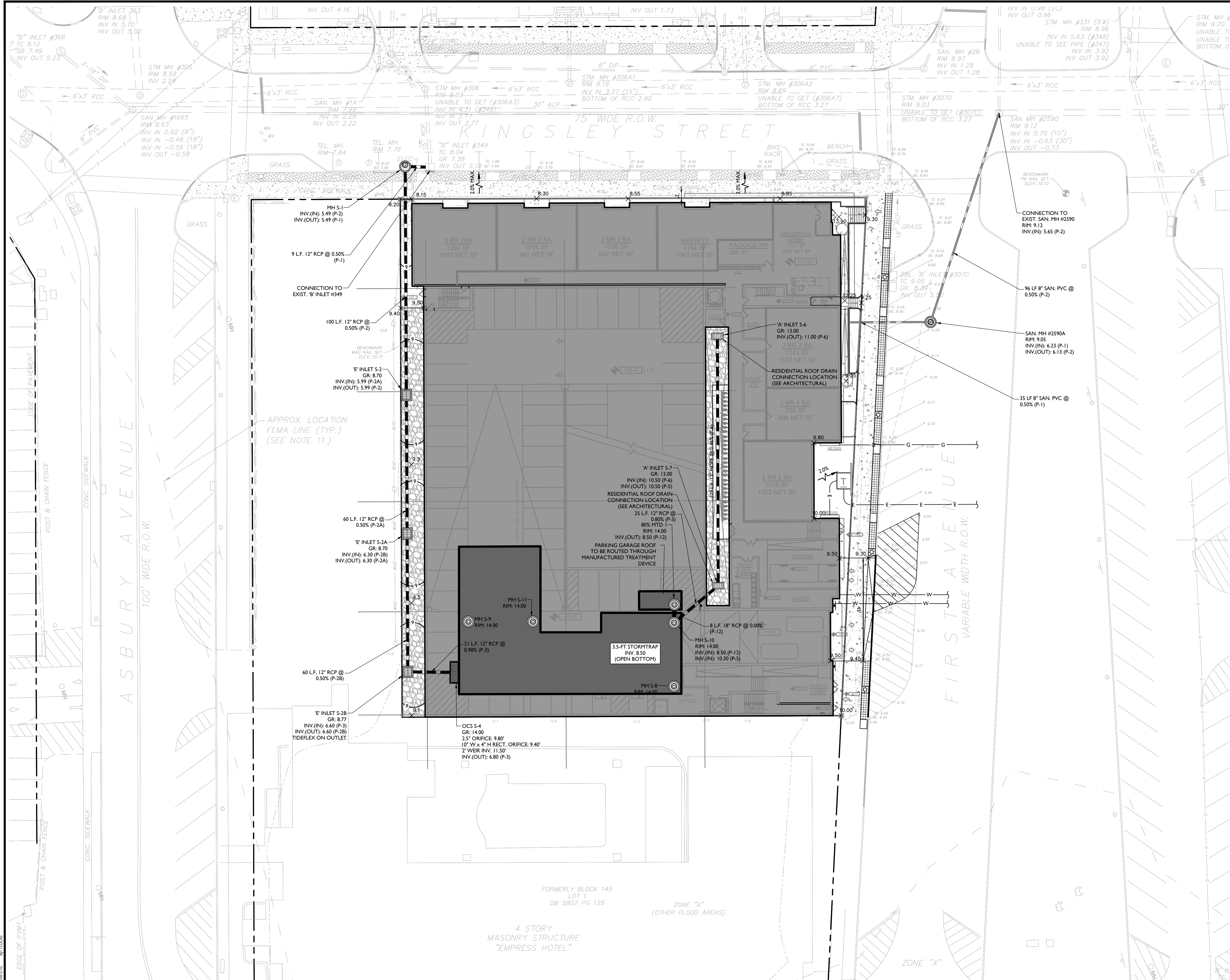
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Red Bank, NJ 07701
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SCALE: AS SHOWN	DATE: 6/6/22	DRAWN BY: PCS / PJC	CHECKED BY: RJC
PROJECT NUMBER: 13000664AE	DRAWING NAME: C-LAY		

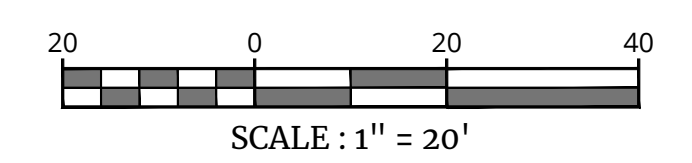
SHEET TITLE: **DIMENSION PLAN**
SHEET NUMBER: **3 of 10**

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	
	DIRECTION OF TRAFFIC FLOW	





EXISTING		LEGEND		PROPOSED	
	TRaverse LINE, CENTER LINE		TRaverse LINE, CENTER LINE		RIGHT OF WAY LINE
	PROPERTY LINE		PROPERTY LINE		EDGE OF PAVEMENT
	CURB		CURB		DEPRESSED CURB
	SIDEWALK		SIDEWALK		FENCES
	TREELINE		TREELINE		ROADWAY SIGNS
	WETLAND LINE		WETLAND LINE		MUNICIPAL BOUNDARY LINE
	'B' INLET		'B' INLET		STORM MANHOLE
	'E' INLET		'E' INLET		SANITARY MANHOLE
	FLARED END SECTION		FLARED END SECTION		HEADWALL
	HYDRANT		HYDRANT		POLE MOUNTED LIGHT
	CONTOURS		CONTOURS		SPOT ELEVATION
	DIRECTION OF OVERLAND FLOW		DIRECTION OF OVERLAND FLOW		TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION		BOTTOM OF CURB ELEVATION		TOP OF DEPRESSED CURB ELEVATION
	TOP OF DEPRESSED CURB ELEVATION		TOP OF DEPRESSED CURB ELEVATION		TOP OF DEPRESSED CURB ELEVATION



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1	10/19/22	TL	REVISED PER NRECF COMMENTS.
2	11/10/22	JAC	UPDATE FOR PLANNING BOARD SUBMISSION
3	12/02/22	JAC	ADDED EROSION AND SEDIMENT CONTROL PLAN
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5	7/9/24	TL	REVISED PER UPDATED SWM DESIGN.
6	8/6/24	TL	REVISED PER NRECF COMMENTS.

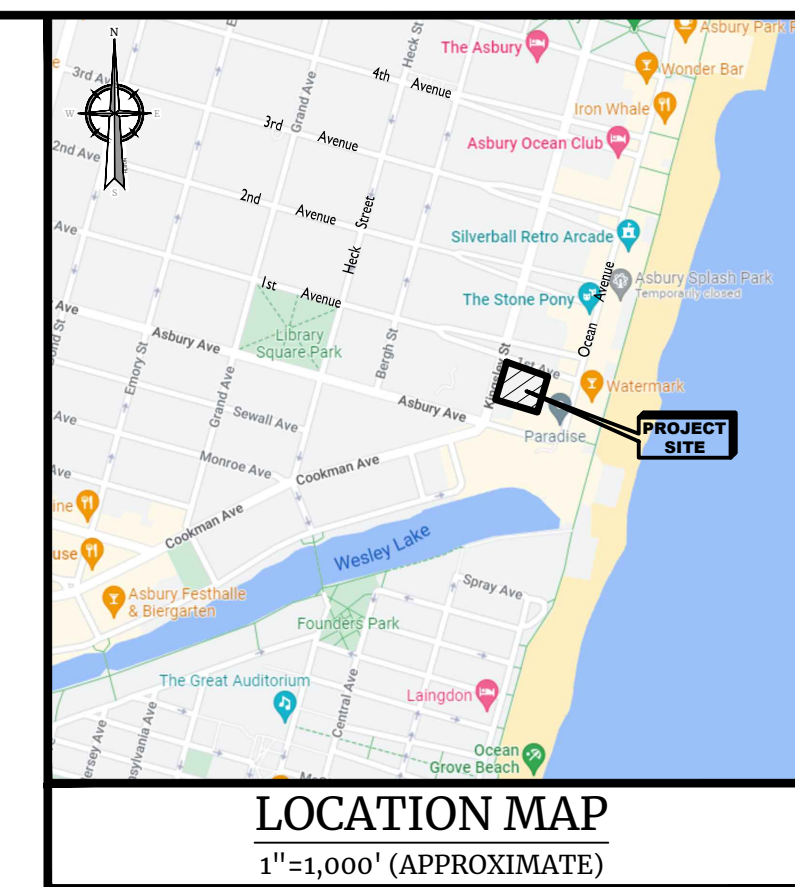
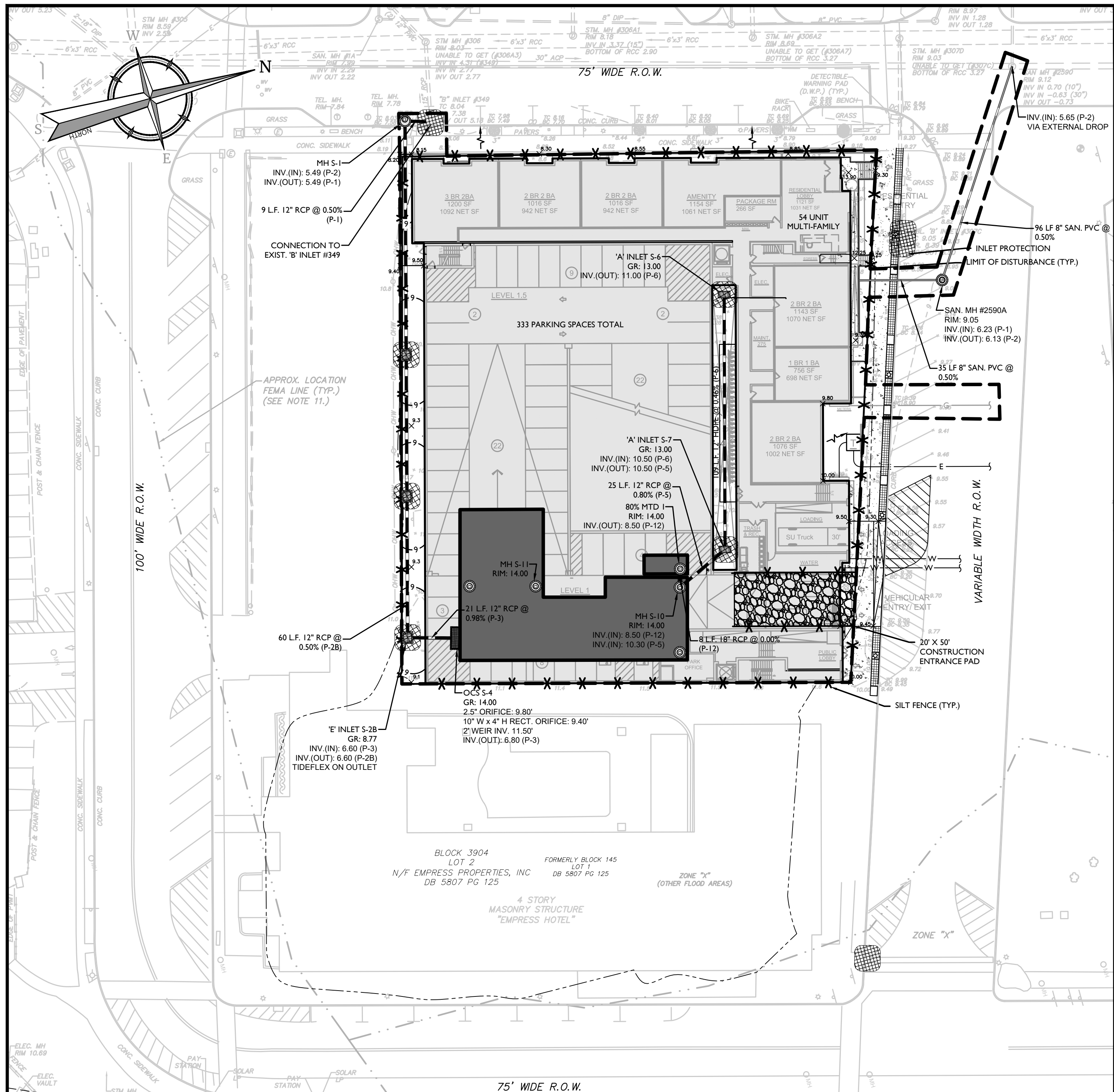
Robert J. Curley
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE34705
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 246A-27985500

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR ASBURY PARTNERS LLC
1089 OCEAN AVENUE ASBURY PARK, NJ
BLOCK 3904, LOT 1 110 FIRST AVENUE TAXMAP SHEET 39 DATED 12/2015
CITY OF ASBURY PARK MONMOUTH COUNTY NEW JERSEY

Colliers RED BANK (Headquarters) 331 Newman Springs Road, Suite 203 Red Bank, NJ 07701
Engineering & Design Phone: 732.383.1950
COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 6/6/22 DRAWN BY: PCS / PJC CHECKED BY: RJC
PROJECT NUMBER: 13000604AE DRAWING NAME: C-UTIL

SHEET TITLE: GRADING, DRAINAGE & UTILITY PLAN
SHEET NUMBER: 4 of 10



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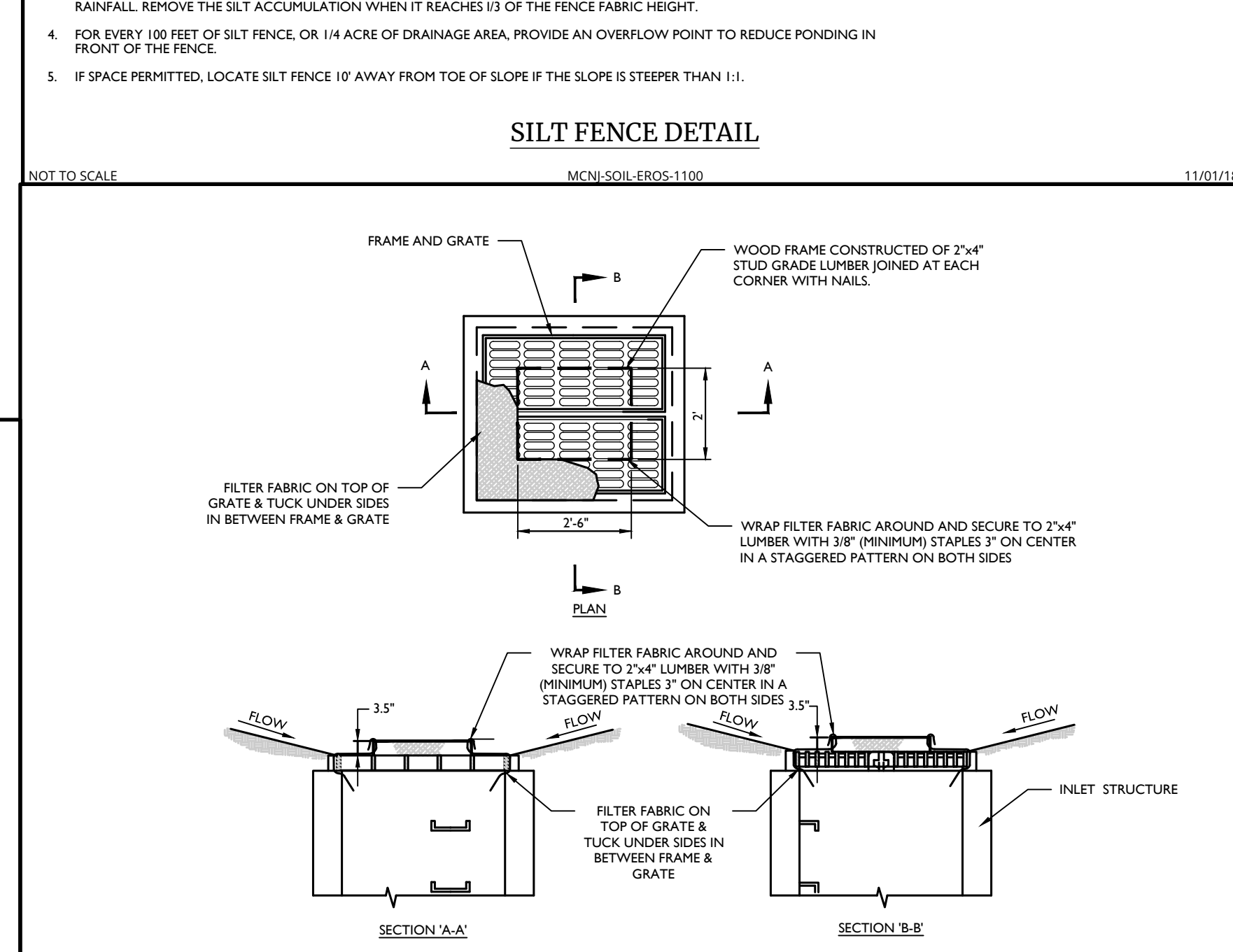
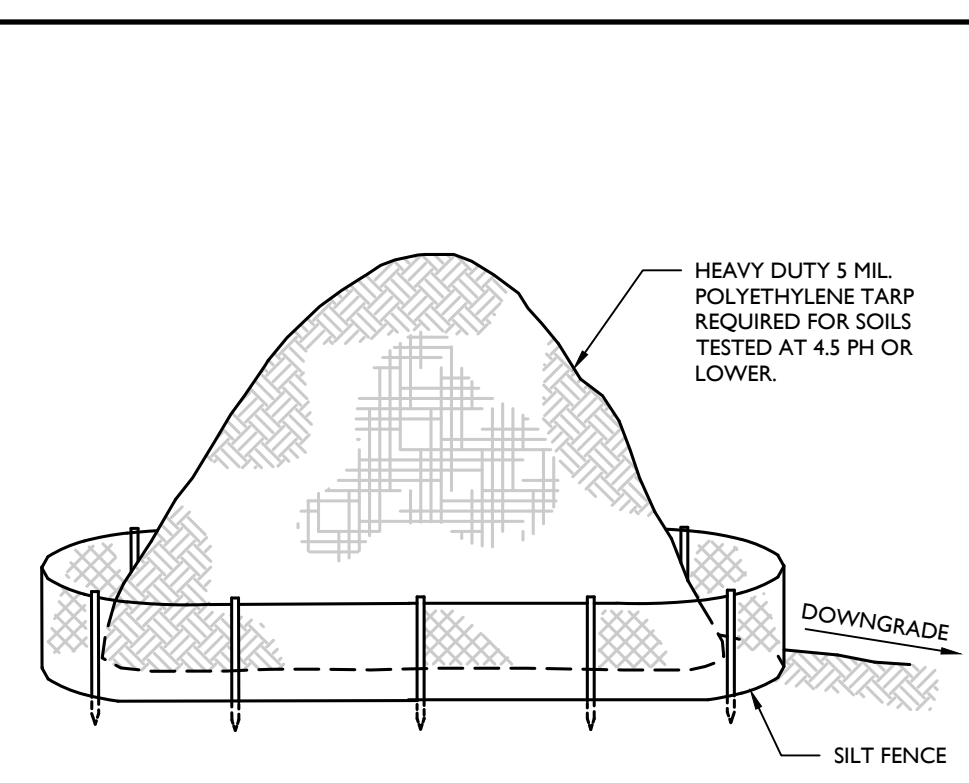
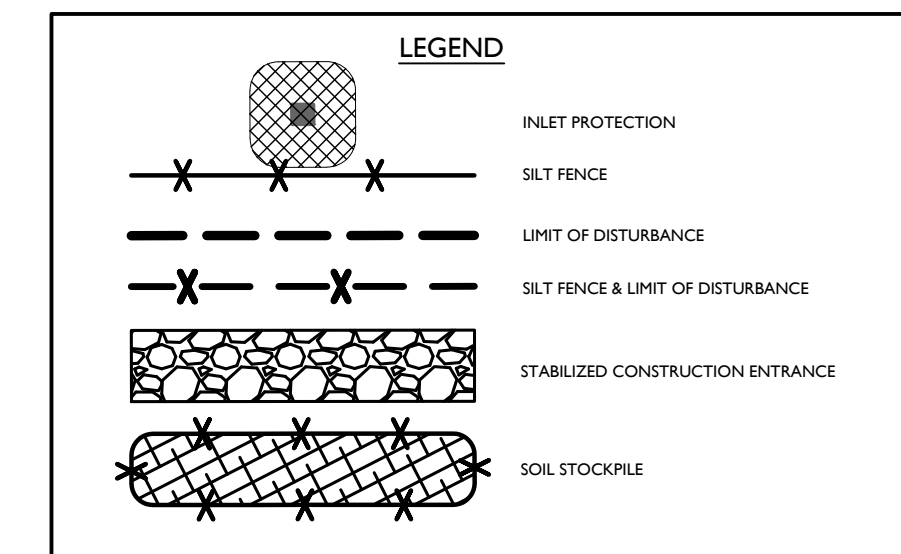
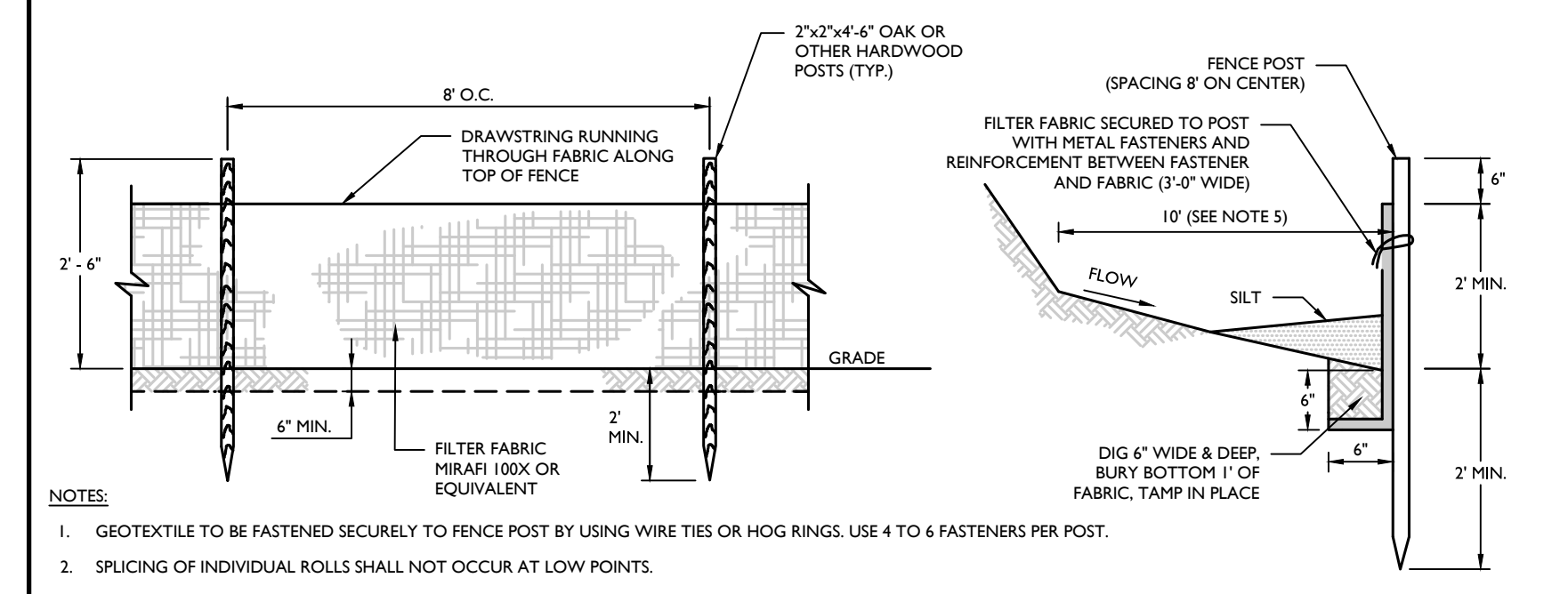
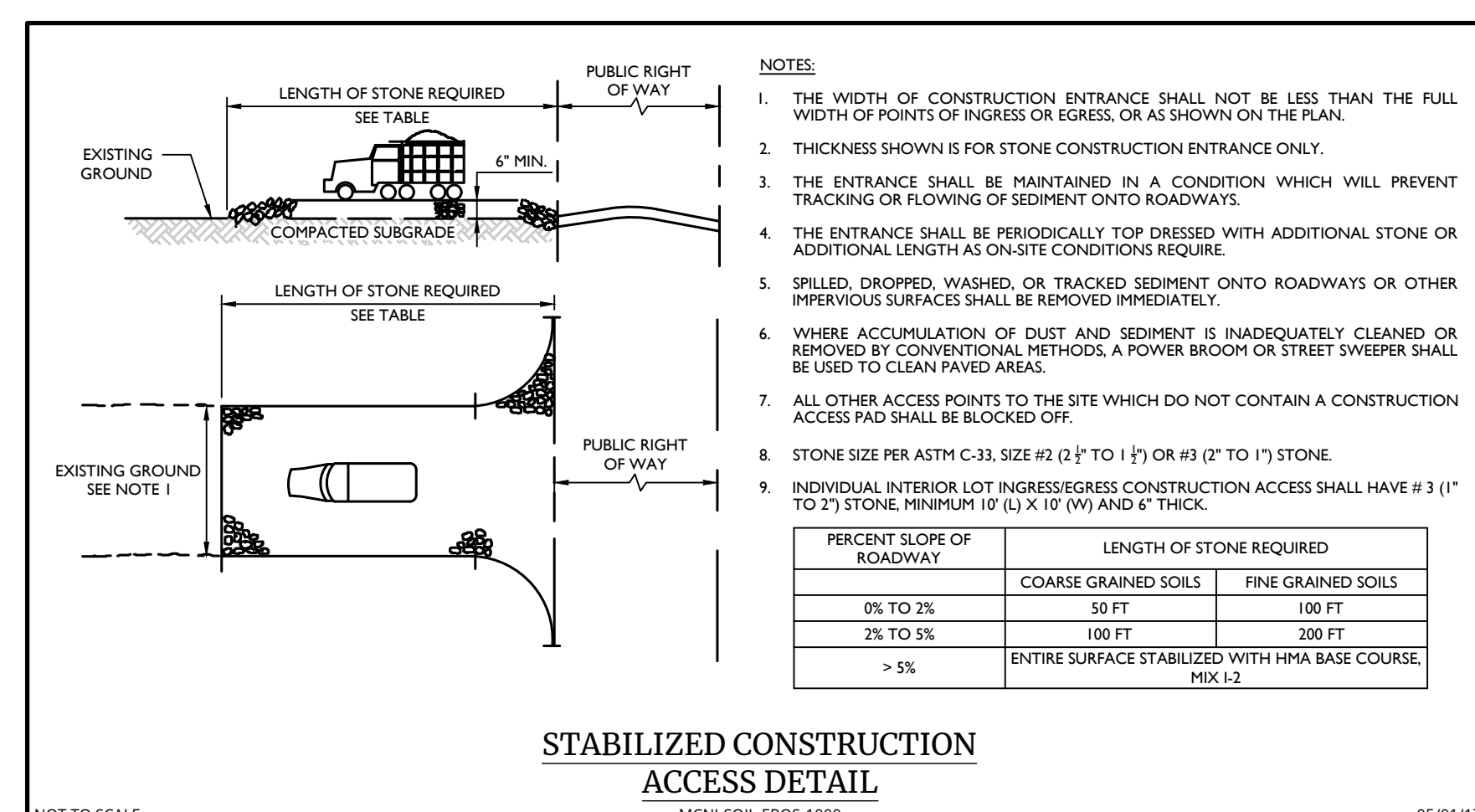
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TOTAL AREA OF DISTURBANCE = 47,262 SQ. FT. ± (1.085 AC.)

Robert J. Curley
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE34705
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 2462A7986500

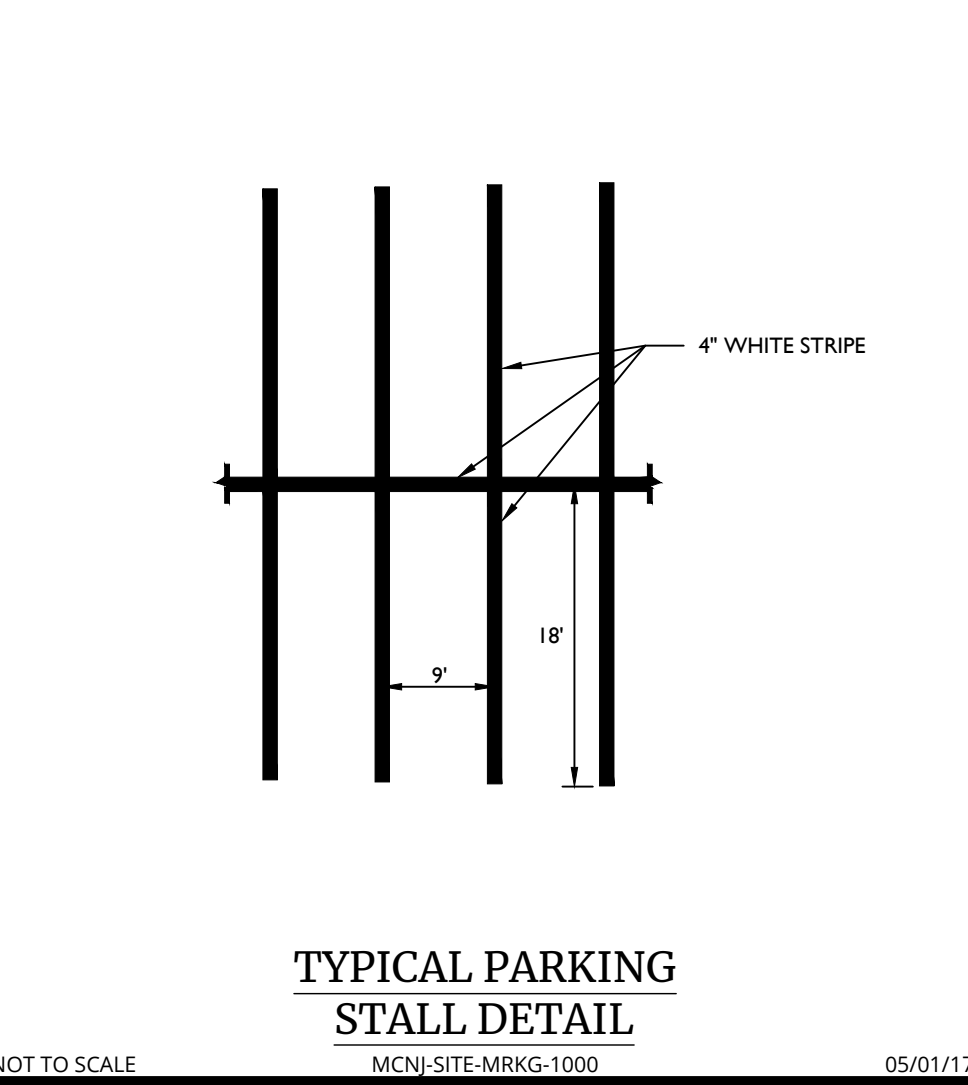
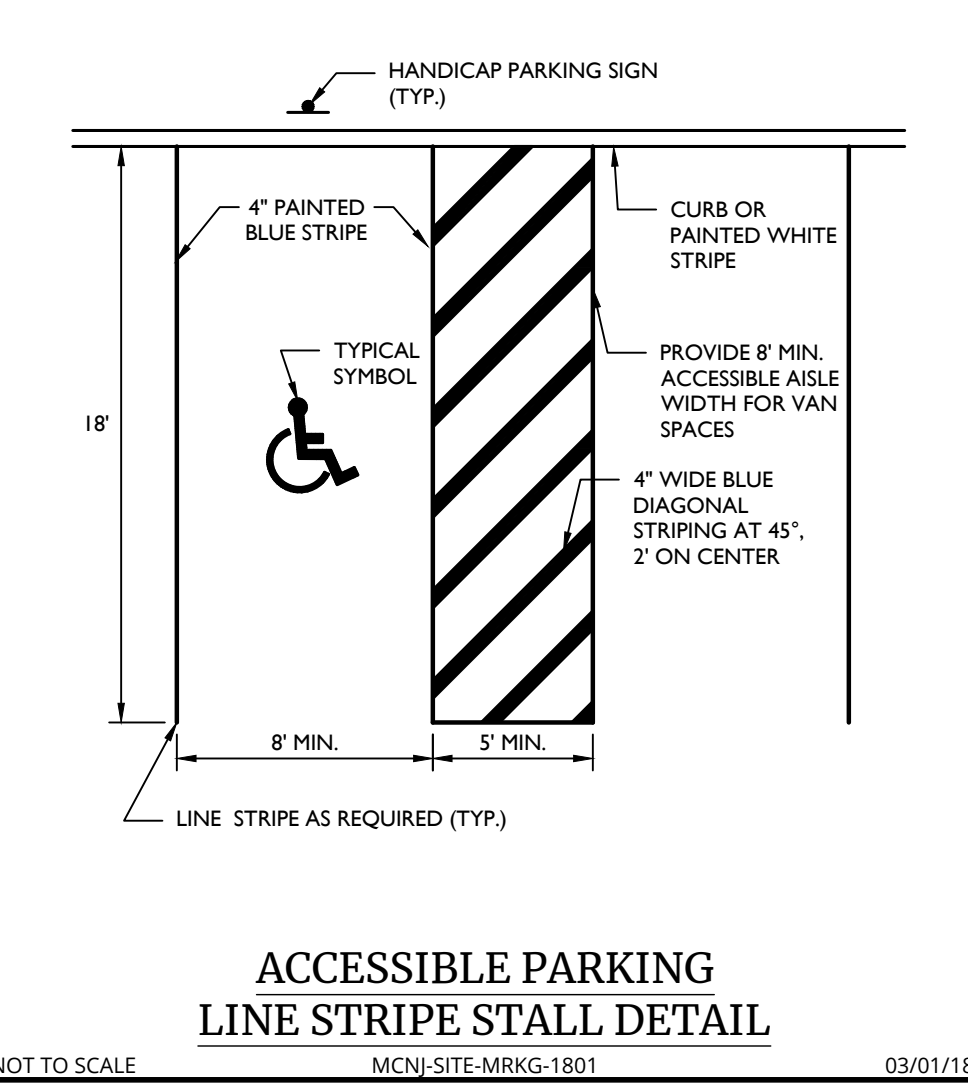
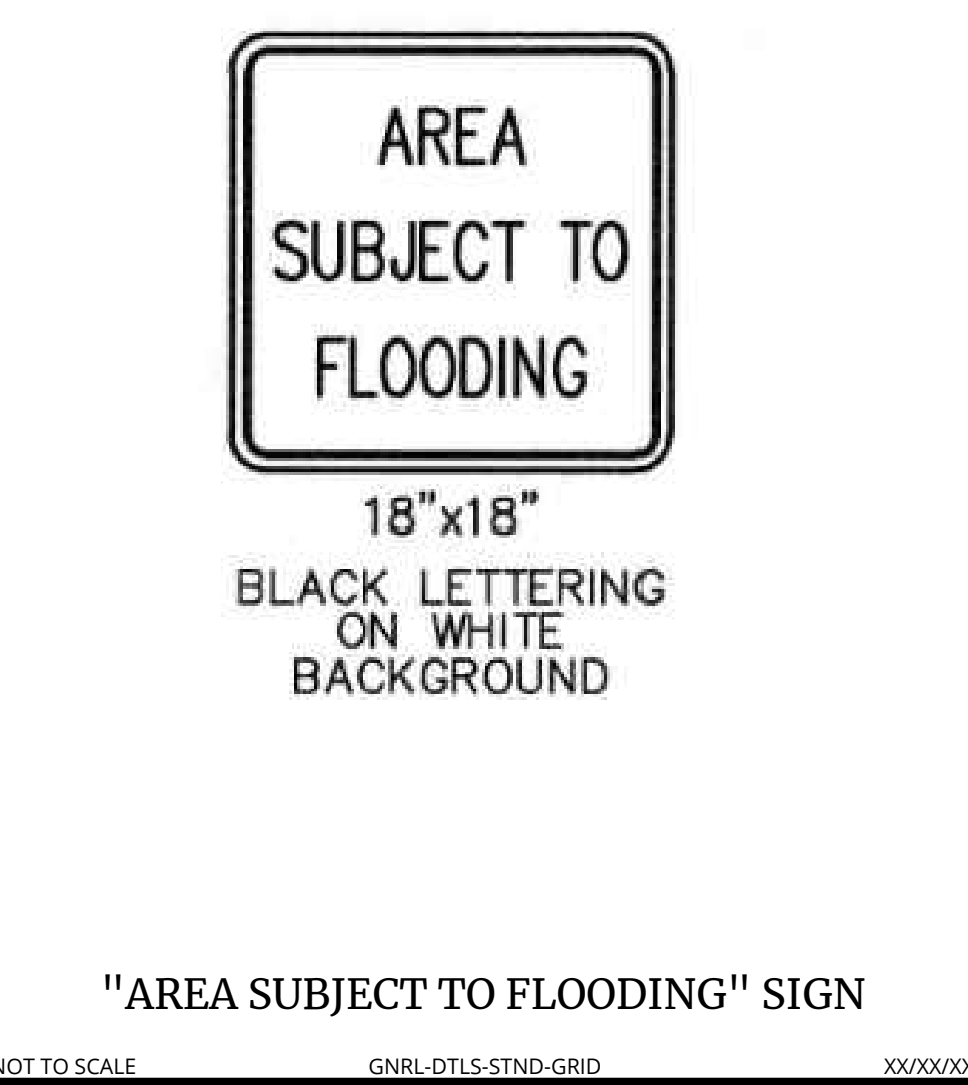
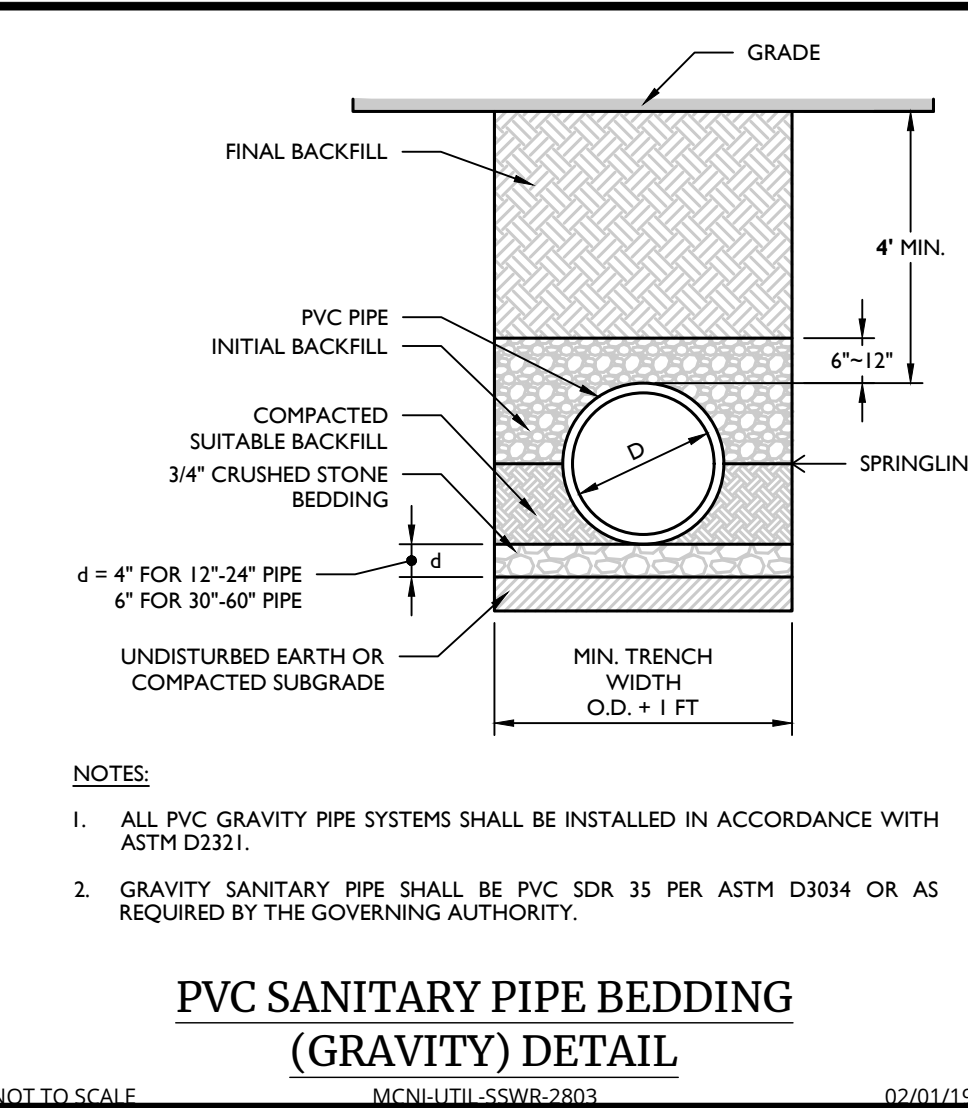
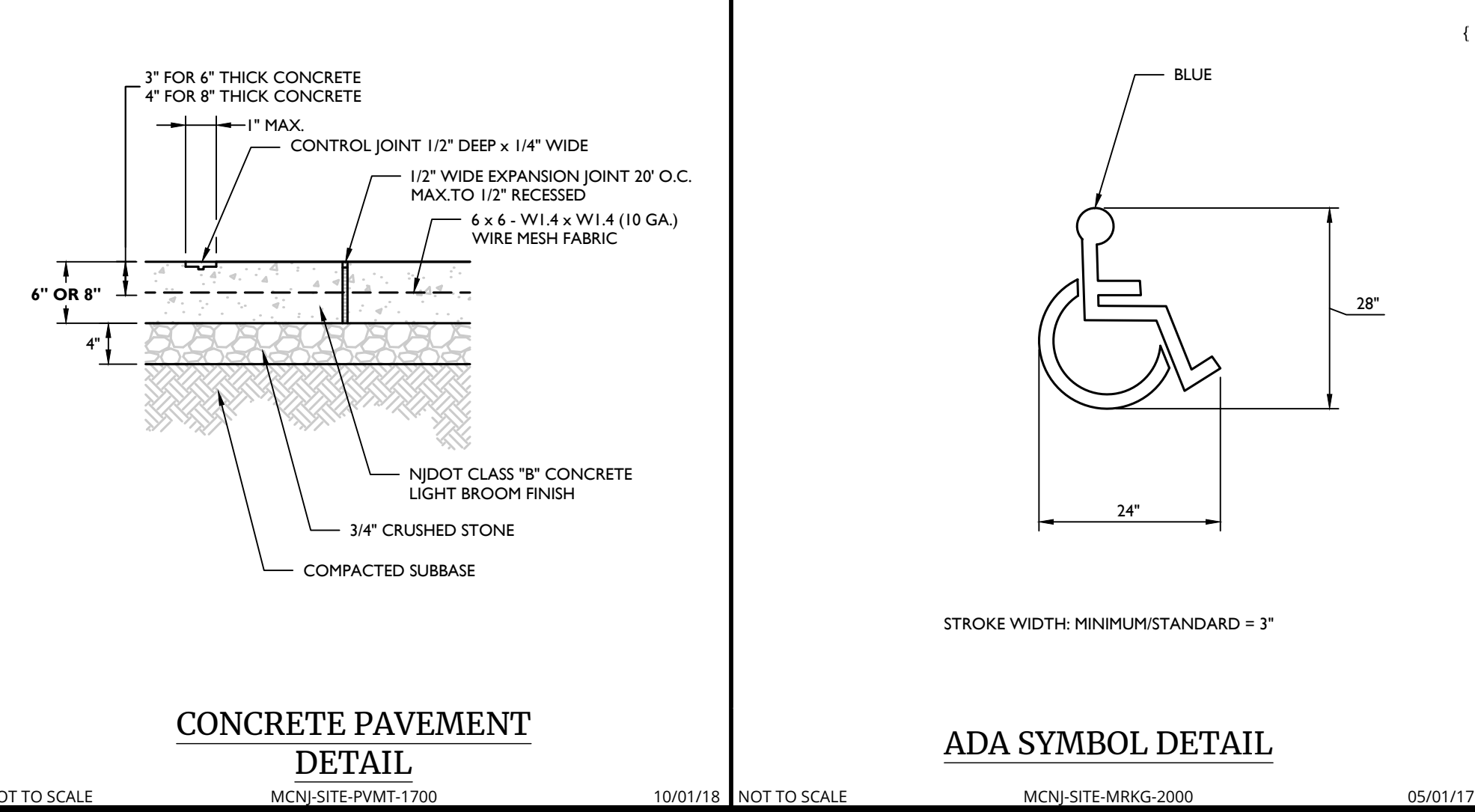
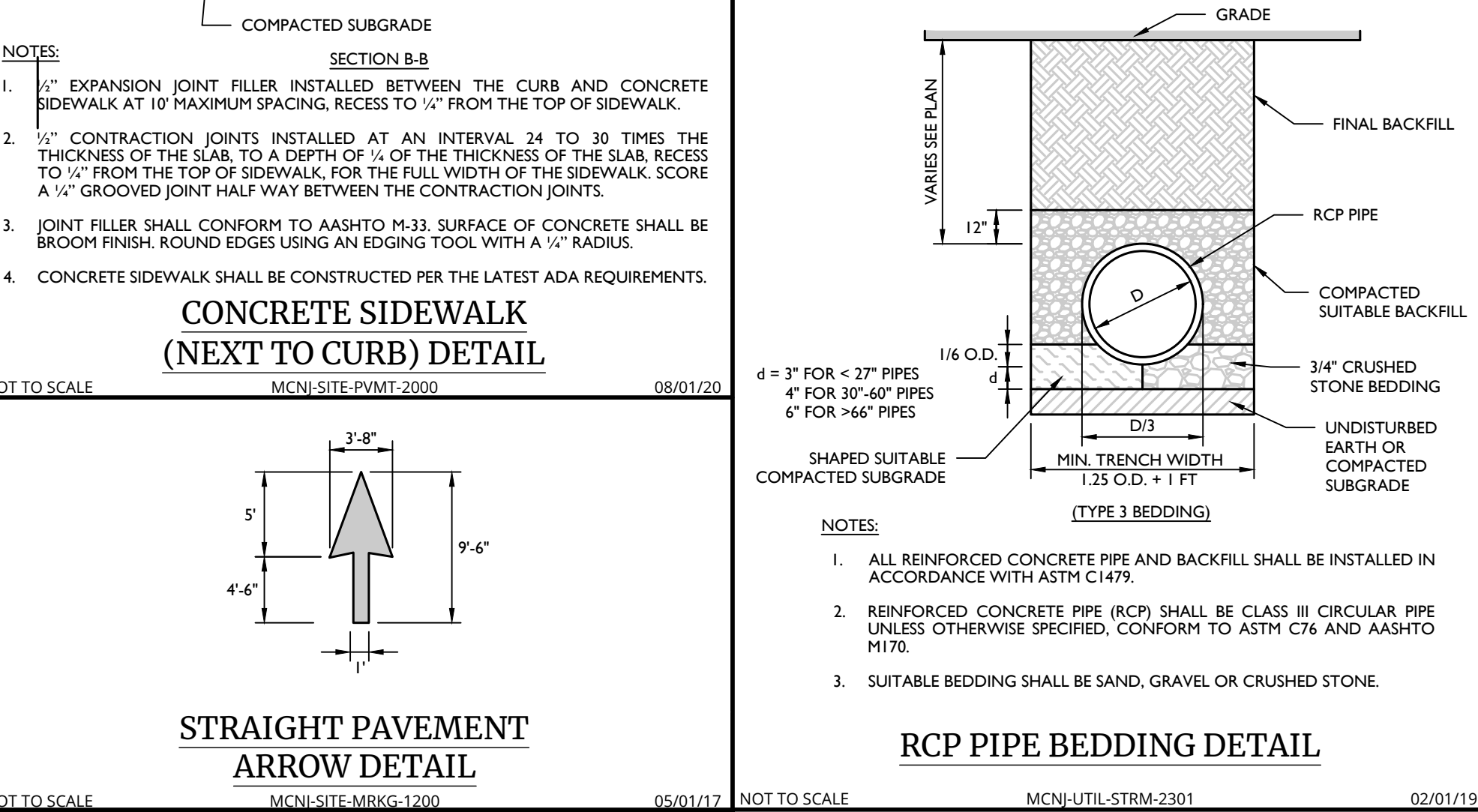
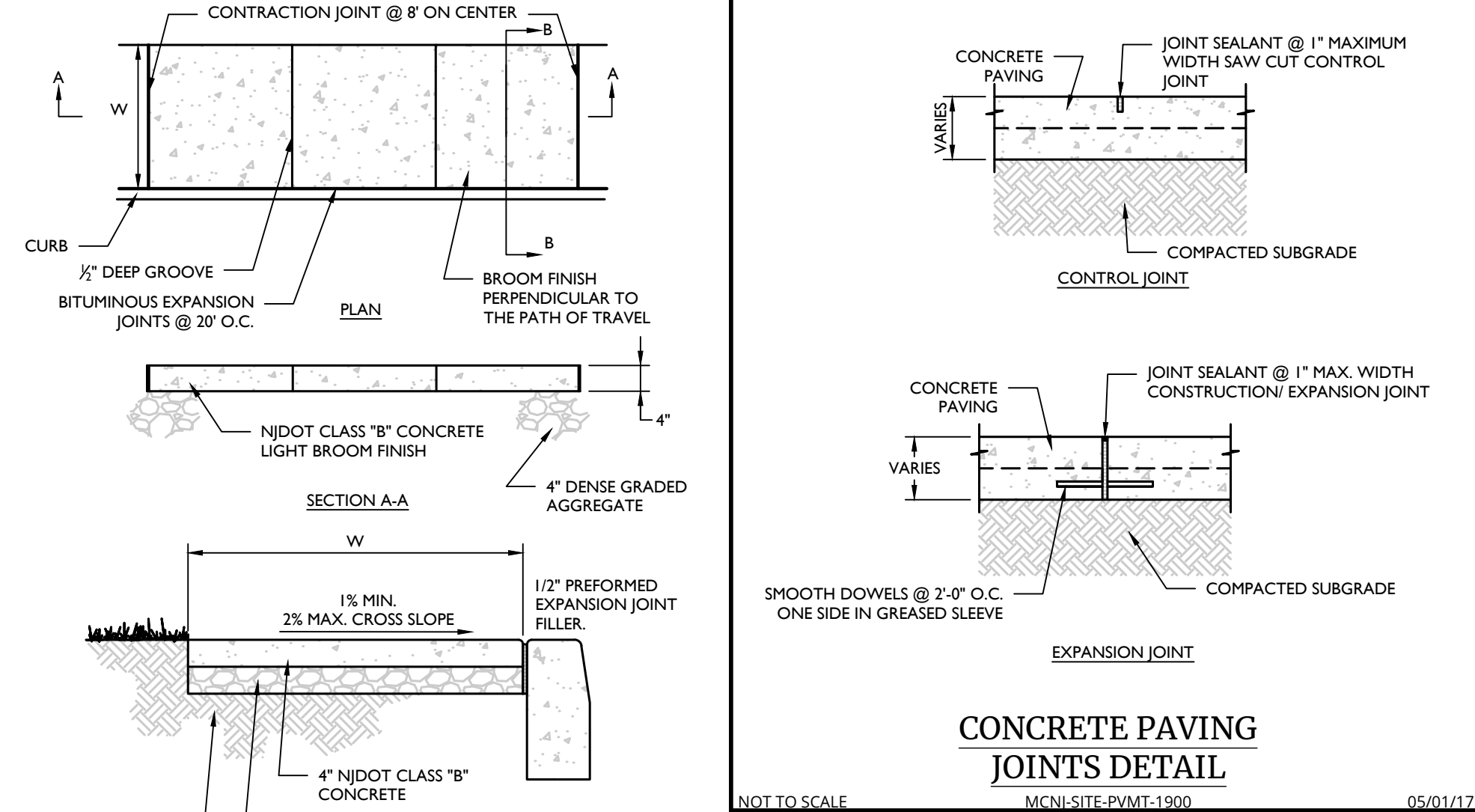
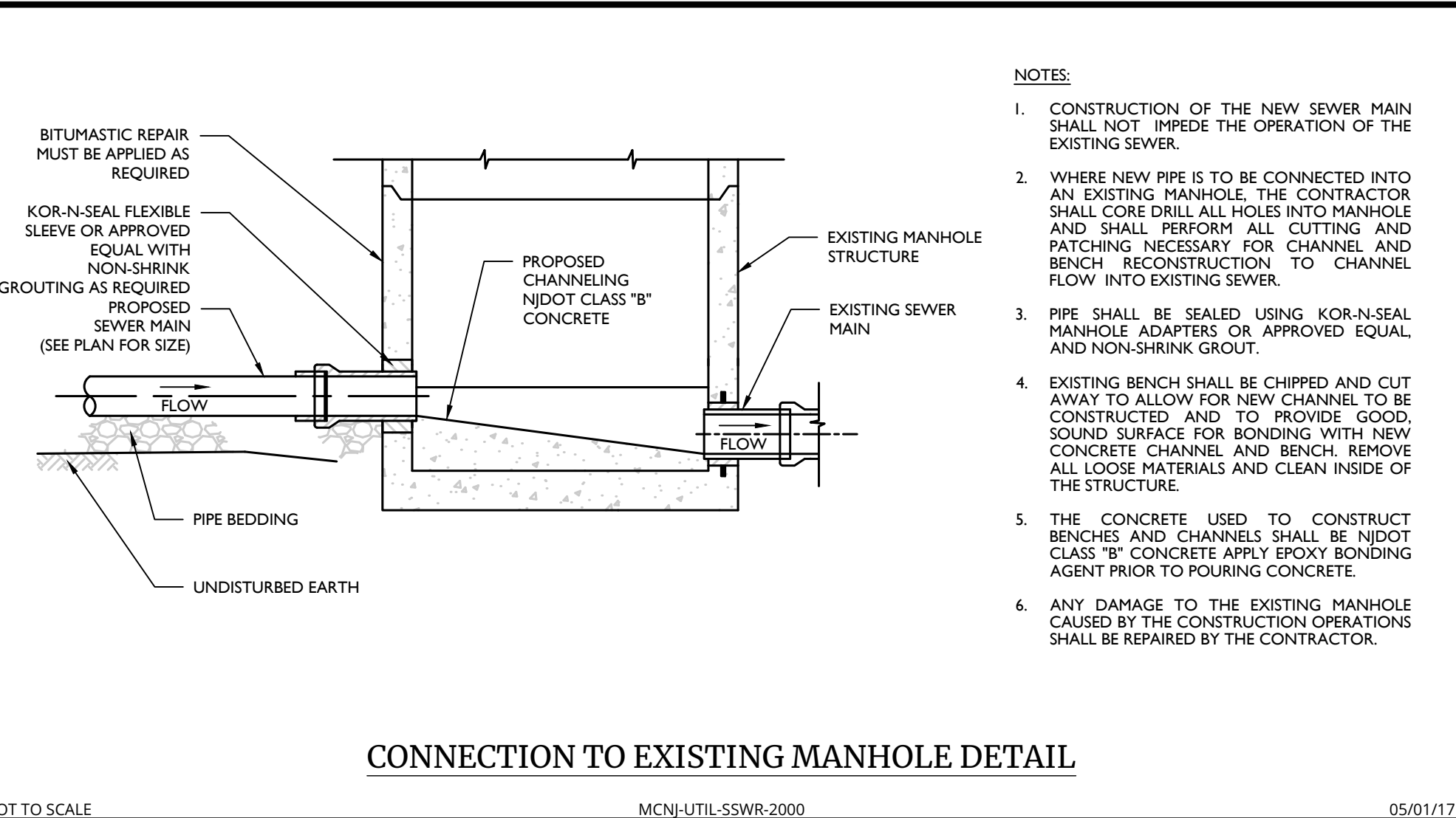
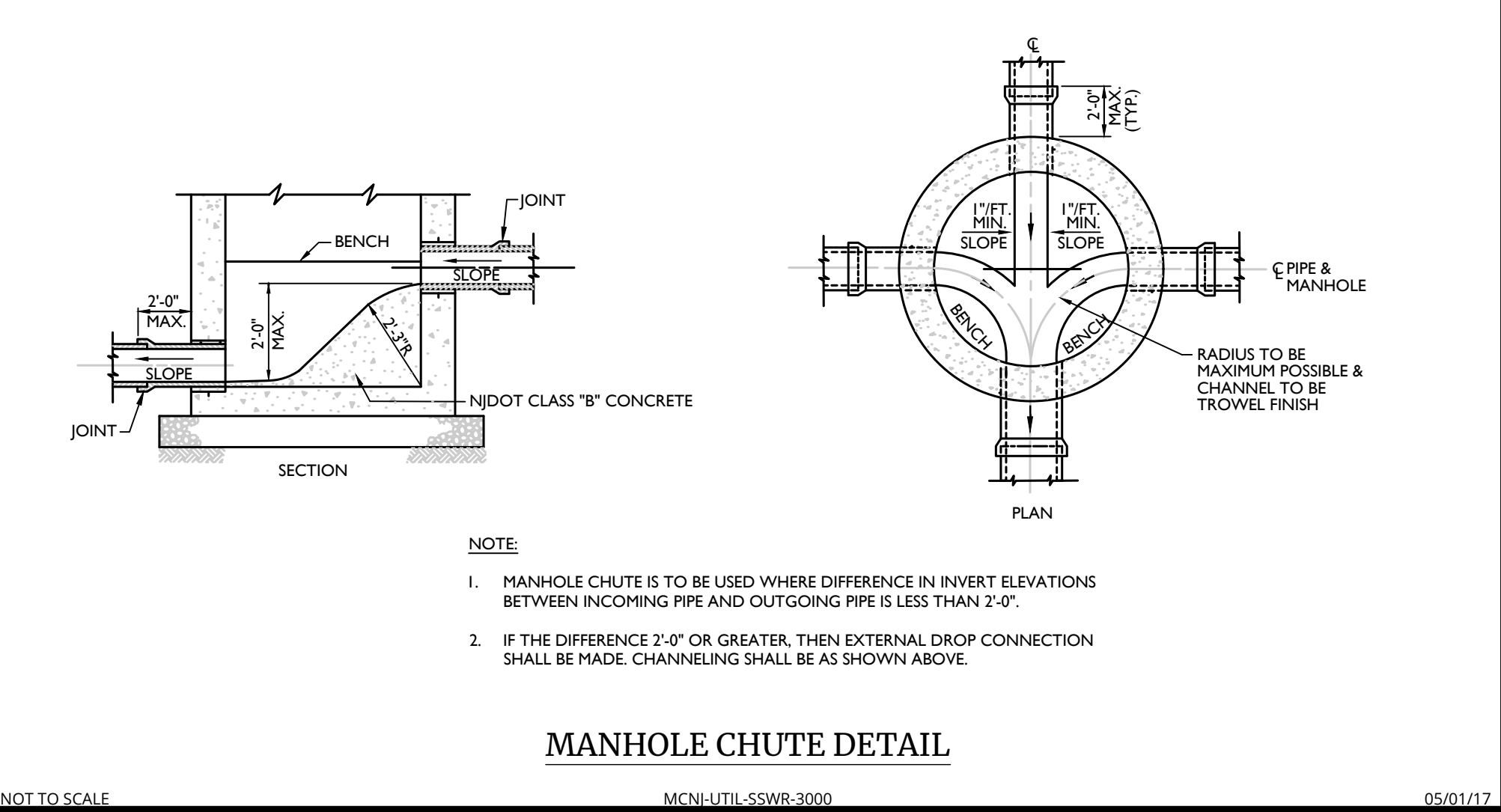
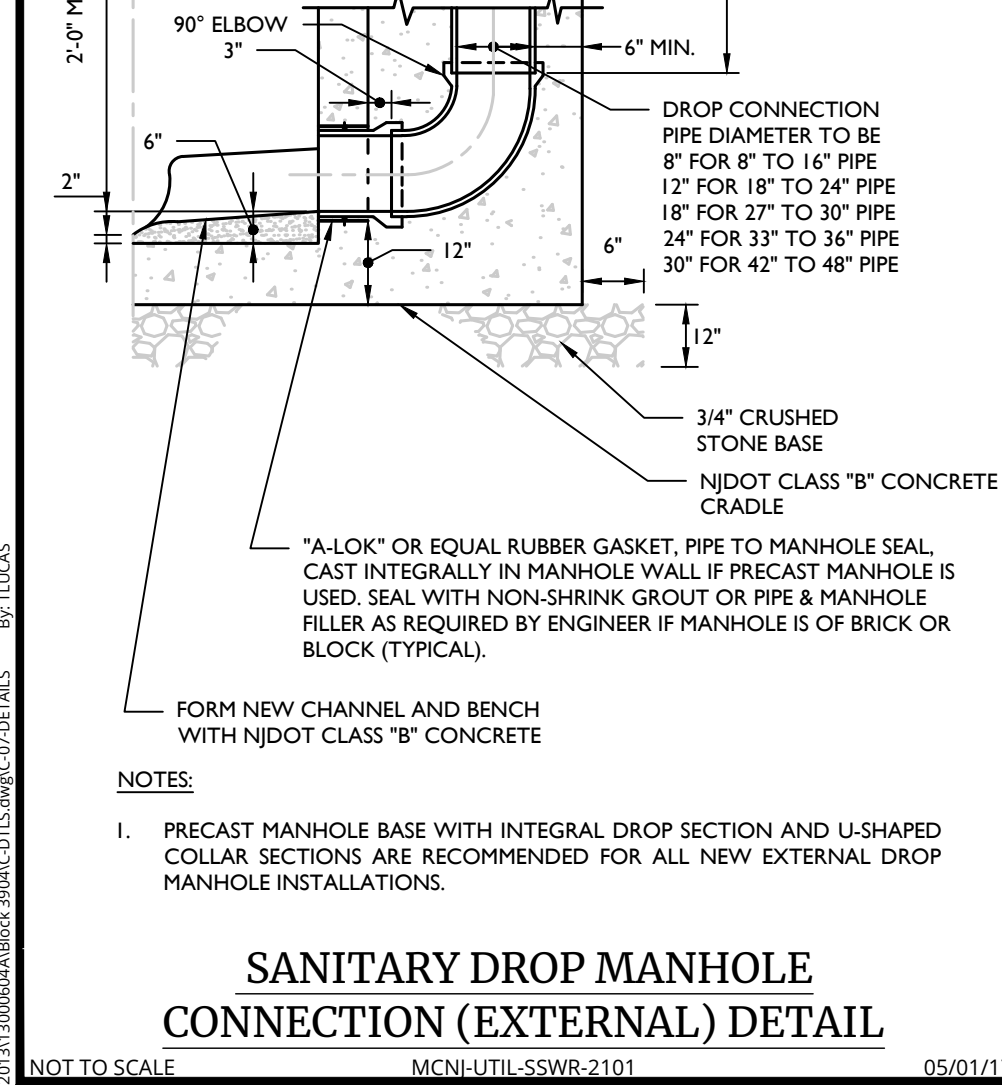
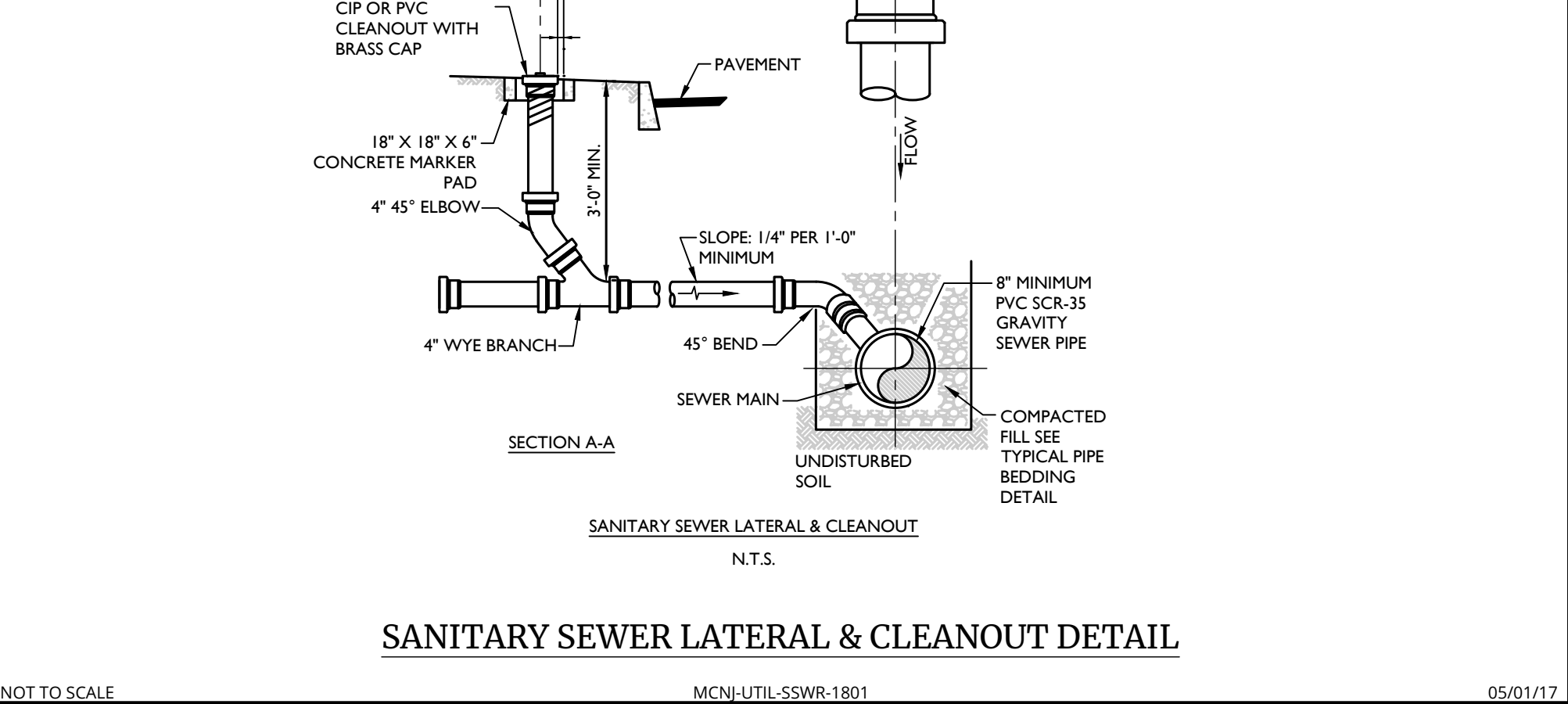
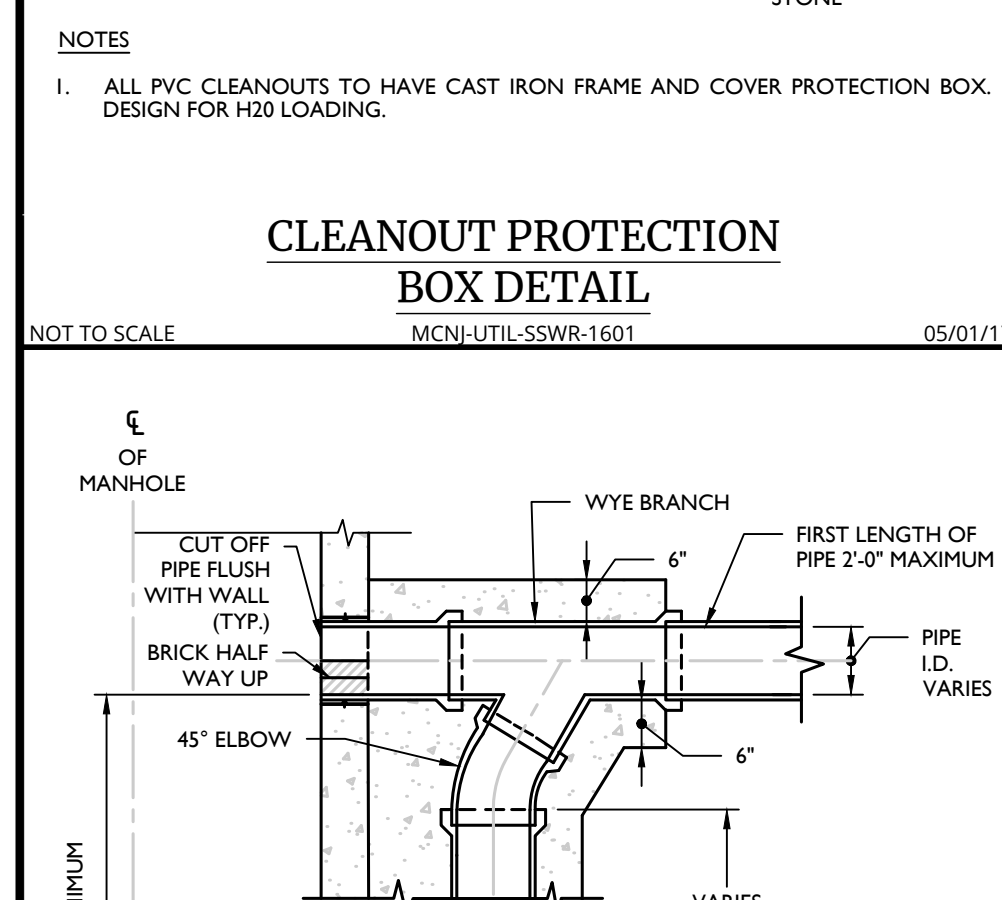
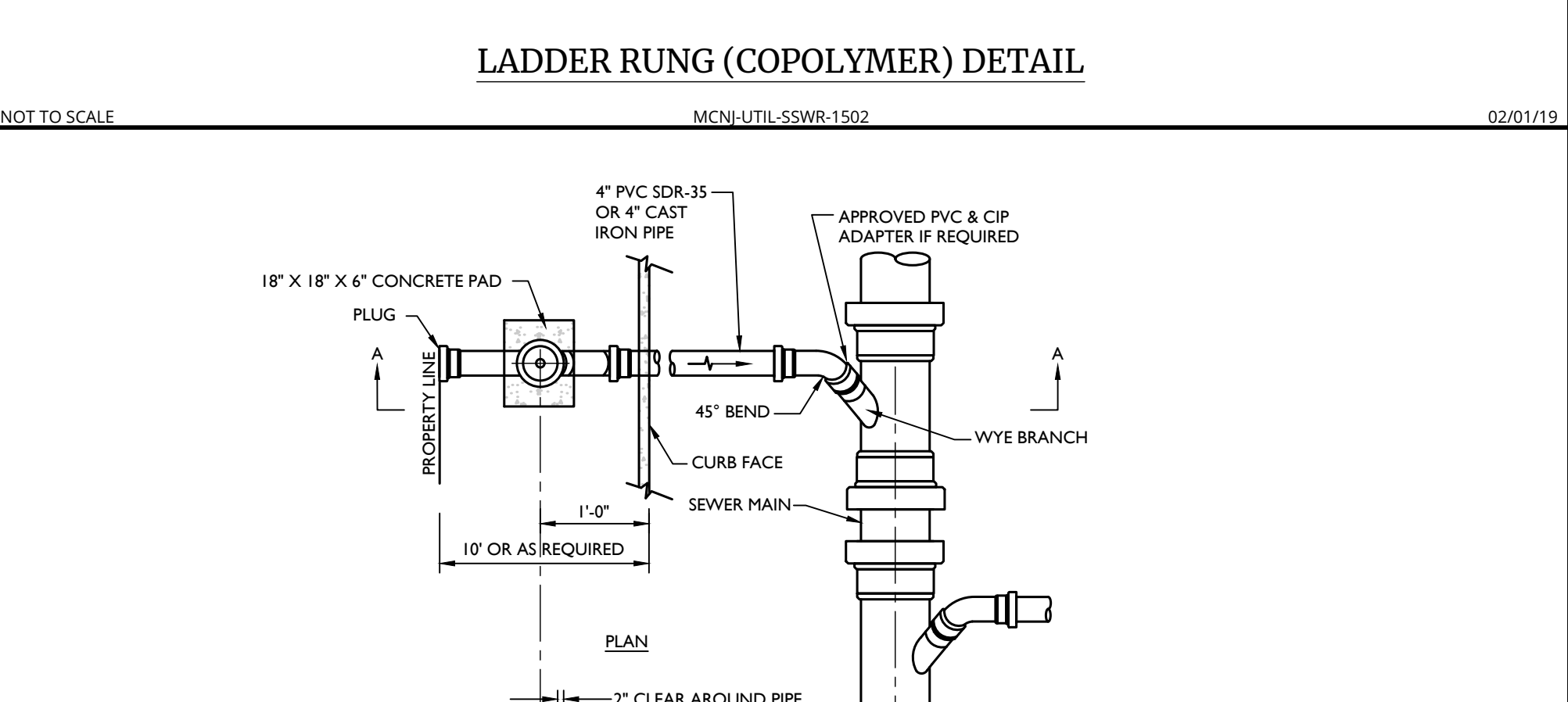
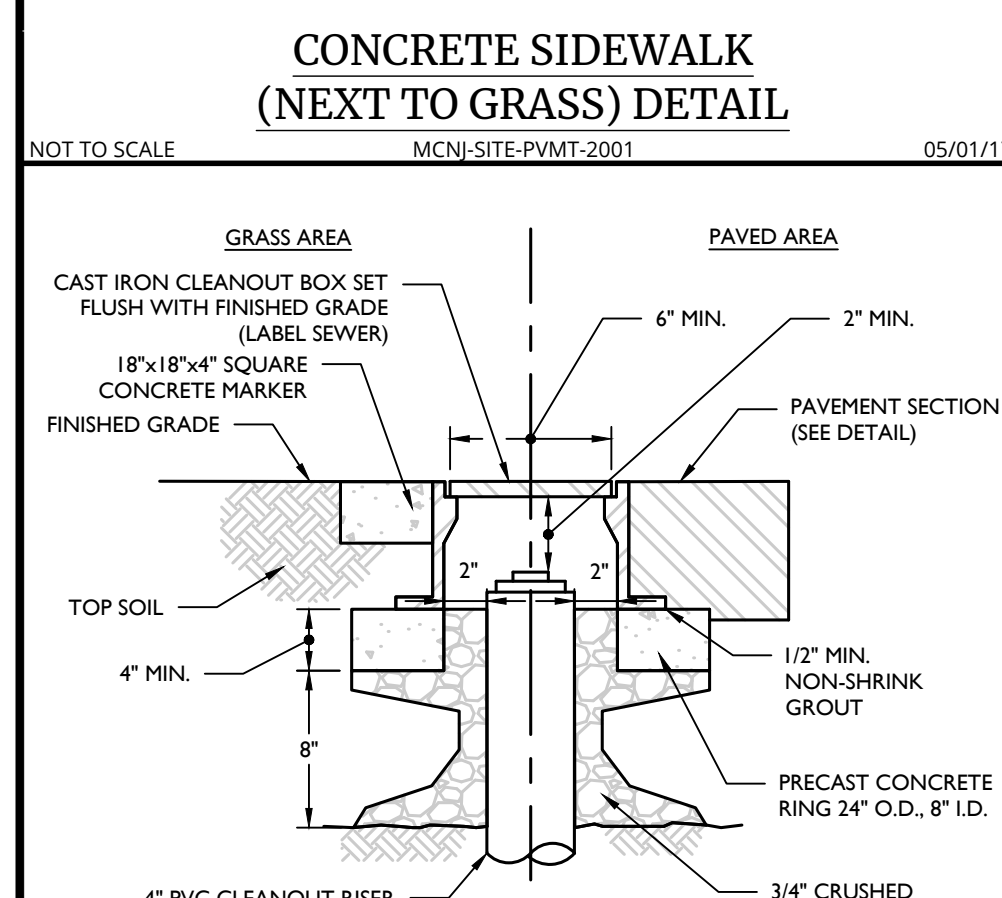
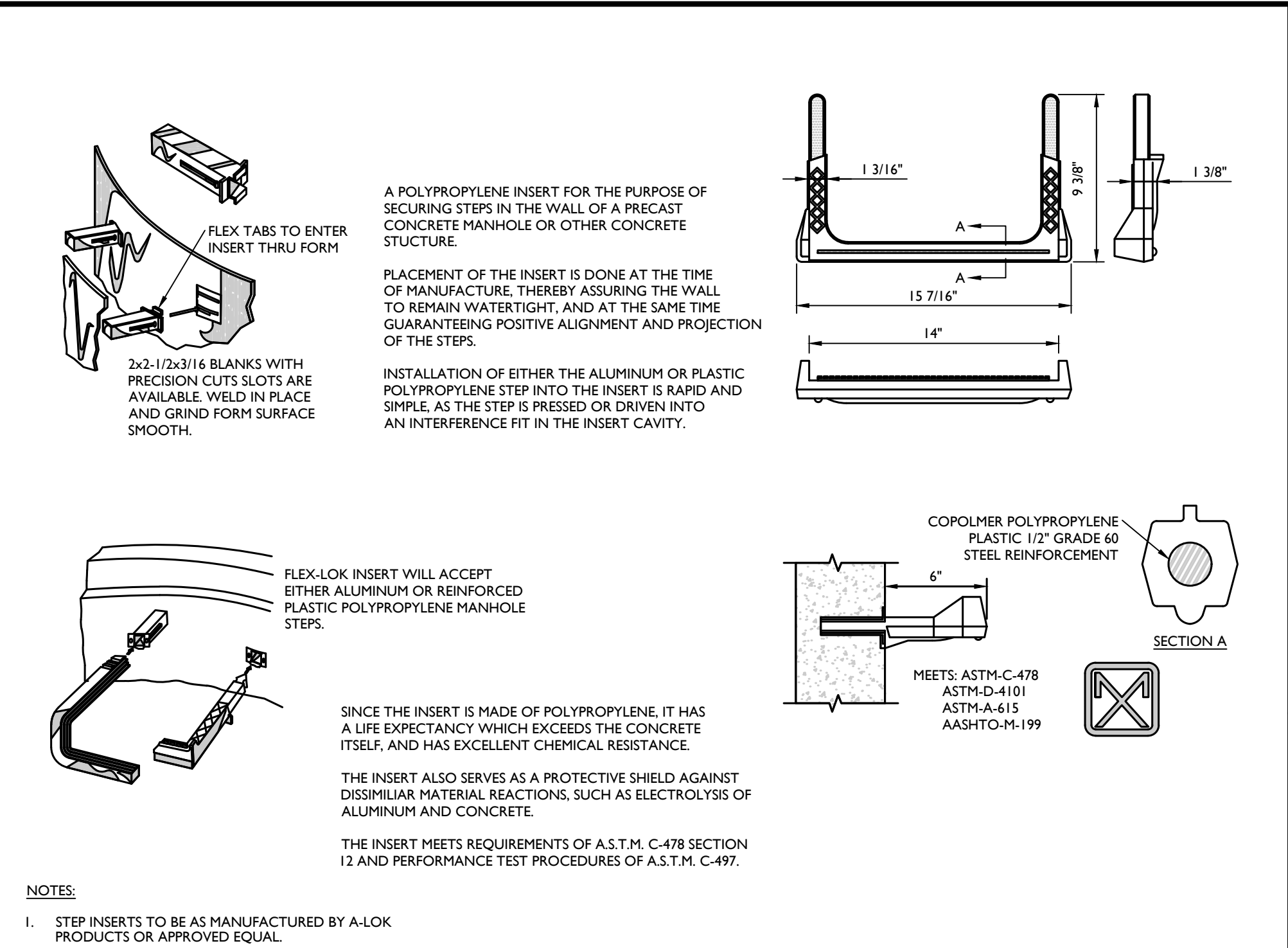
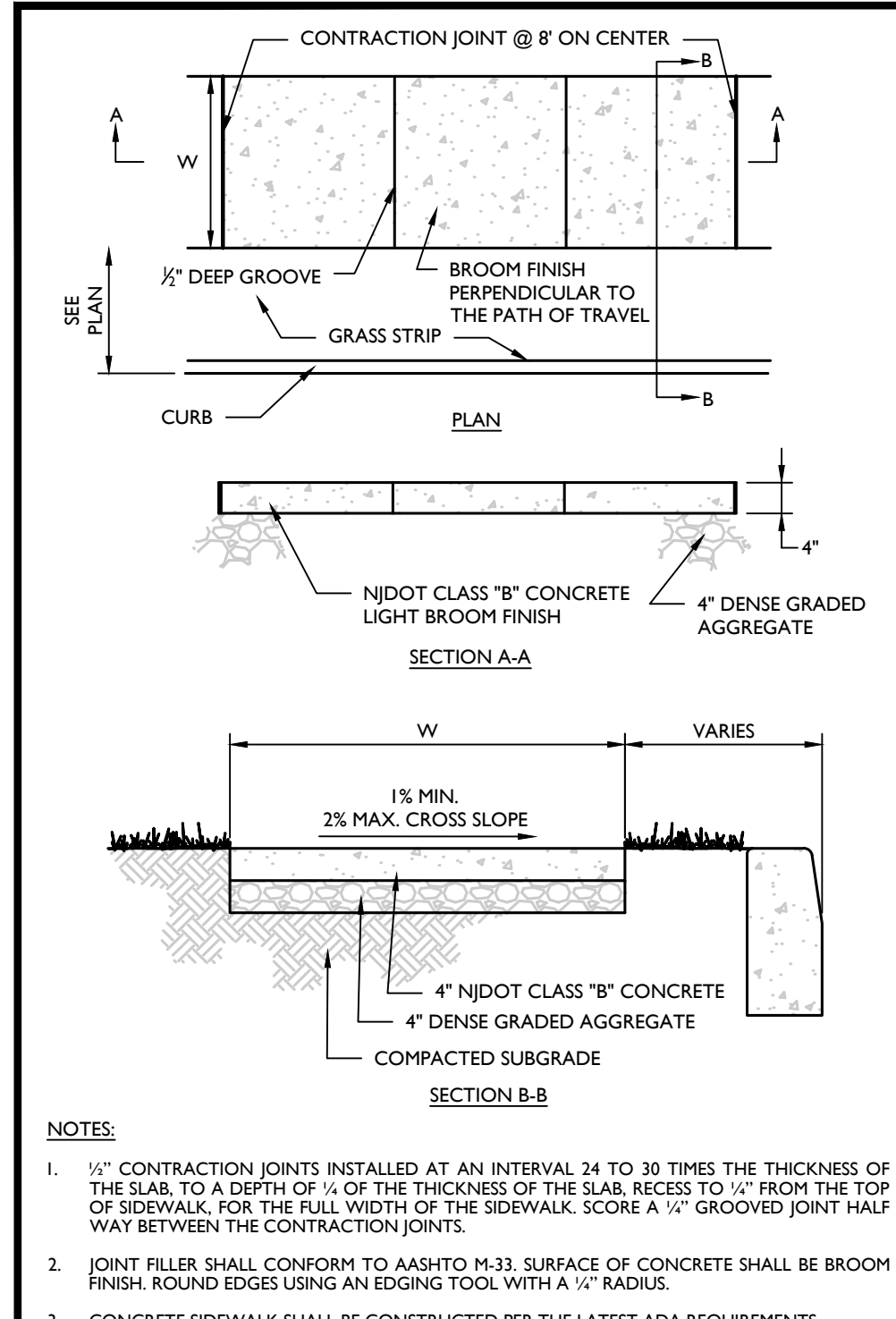
PRELIMINARY AND FINAL MAJOR SITE PLAN FOR ASBURY PARTNERS LLC
1089 OCEAN AVENUE ASBURY PARK, NJ
BLOCK 3904, LOT 1 110 FIRST AVENUE TAXMAP SHEET 39 DATED 12/2015
CITY OF ASBURY PARK MONMOUTH COUNTY NEW JERSEY

Colliers Engineering & Design

RED BANK (Headquarters) 331 Newman Springs Road, Suite 203 Red Bank, NJ 07701
Phone: 732.383.1950
COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

SCALE: AS SHOWN DATE: 6/6/22 DRAWN BY: PCS / PJC CHECKED BY: RJC
PROJECT NUMBER: 13000604AE DRAWING NAME: C-SECC

SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN
SHEET NUMBER: 5 of 10



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3	12/29/22	ADDED EROSION AND SEDIMENT CONTROL PLAN
4	02/10/24	REVISED PER UPDATED ARCHITECTURAL PLAN
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Robert J. Curley
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE34705
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 246247985500

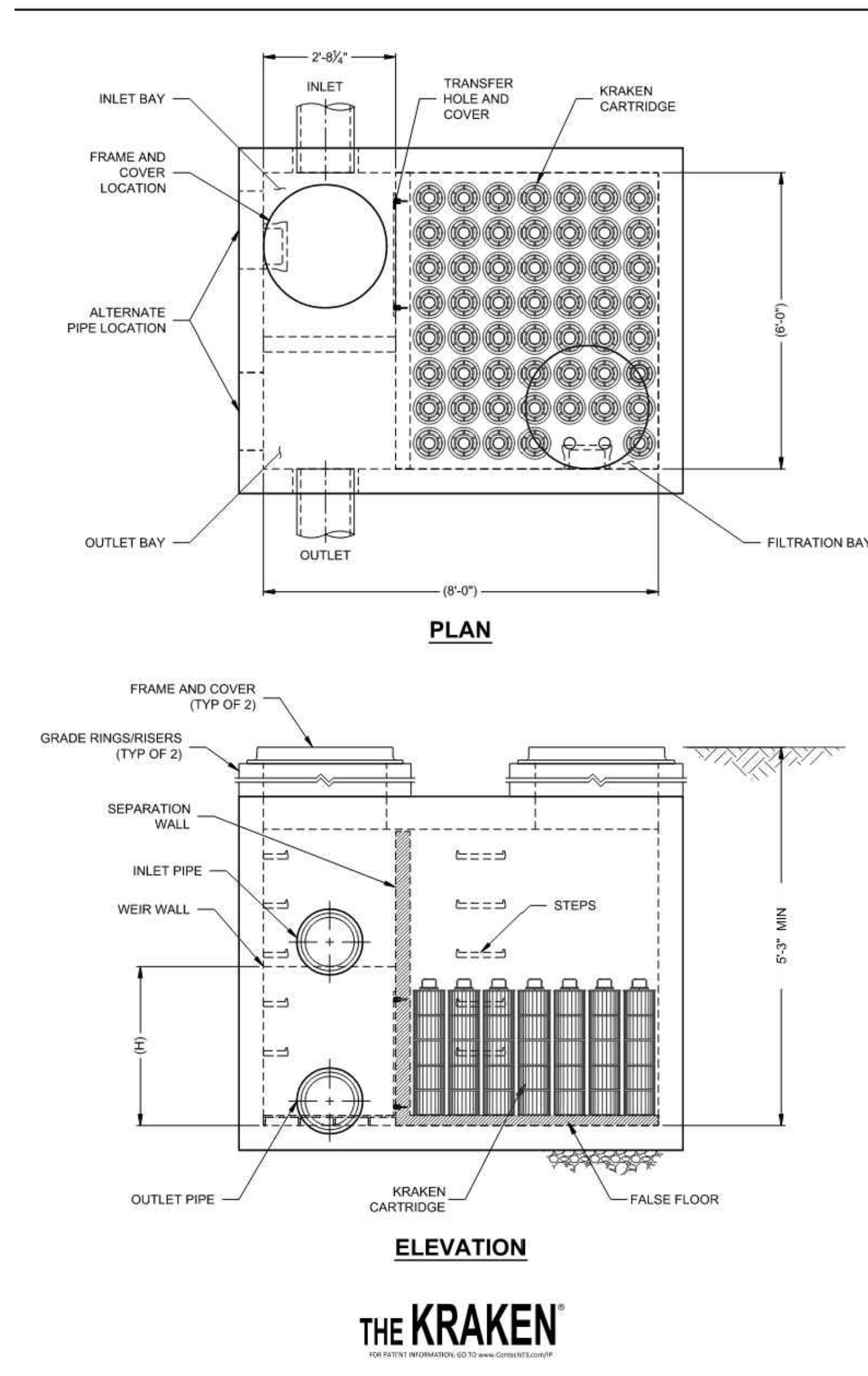
PRELIMINARY AND FINAL MAJOR SITE PLAN FOR ASBURY PARTNERS LLC
1089 OCEAN AVENUE
ASBURY PARK, NJ
BLOCK 3904, LOT 1
110 FIRST AVENUE
TAXMAP SHEET 39
DATED 12/2015

**CITY OF ASBURY PARK
MONMOUTH COUNTY
NEW JERSEY**

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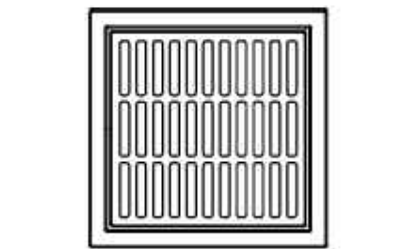
CONSTRUCTION DETAILS
7 of 10



KRAKEN FILTER DESIGN NOTES

- KRAKEN FILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD
- A 6' x 8' PEAK DIVERSION STYLE KRAKEN FILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (64) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE

CARTRIDGE HEIGHT	30"	20"	10"
RECOMMENDED HYDRAULIC DROP (H)	38.5"	28.5"	18.5"
SPECIFIC FLOW RATE (gpm/sf)	0.10	0.10	0.10
CARTRIDGE FLOW RATE (gpm)	17	10.6	4.9



FRAME AND GRATE
(SIZE MAY VARY)
NOT TO SCALE



FRAME AND COVER
(30" ROUND)
NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	
WATER QUALITY FLOW RATE (cfs)	1.65
PEAK FLOW RATE (cfs)	5.00
RETURN PERIOD OF PEAK FLOW (yrs)	100
CARTRIDGE FLOW RATE	0.038
CARTRIDGE SIZE (30" 20" 10")	30"
NUMBER OF CARTRIDGES REQUIRED	44
INLET BAY RIM ELEVATION	
FILTER BAY RIM ELEVATION	
PIPE DATA:	
INLET PIPE 1	
INLET PIPE 2	
OUTLET PIPE	

NOTES/SPECIAL REQUIREMENTS:
See Plan for pipe material, size & Inverts

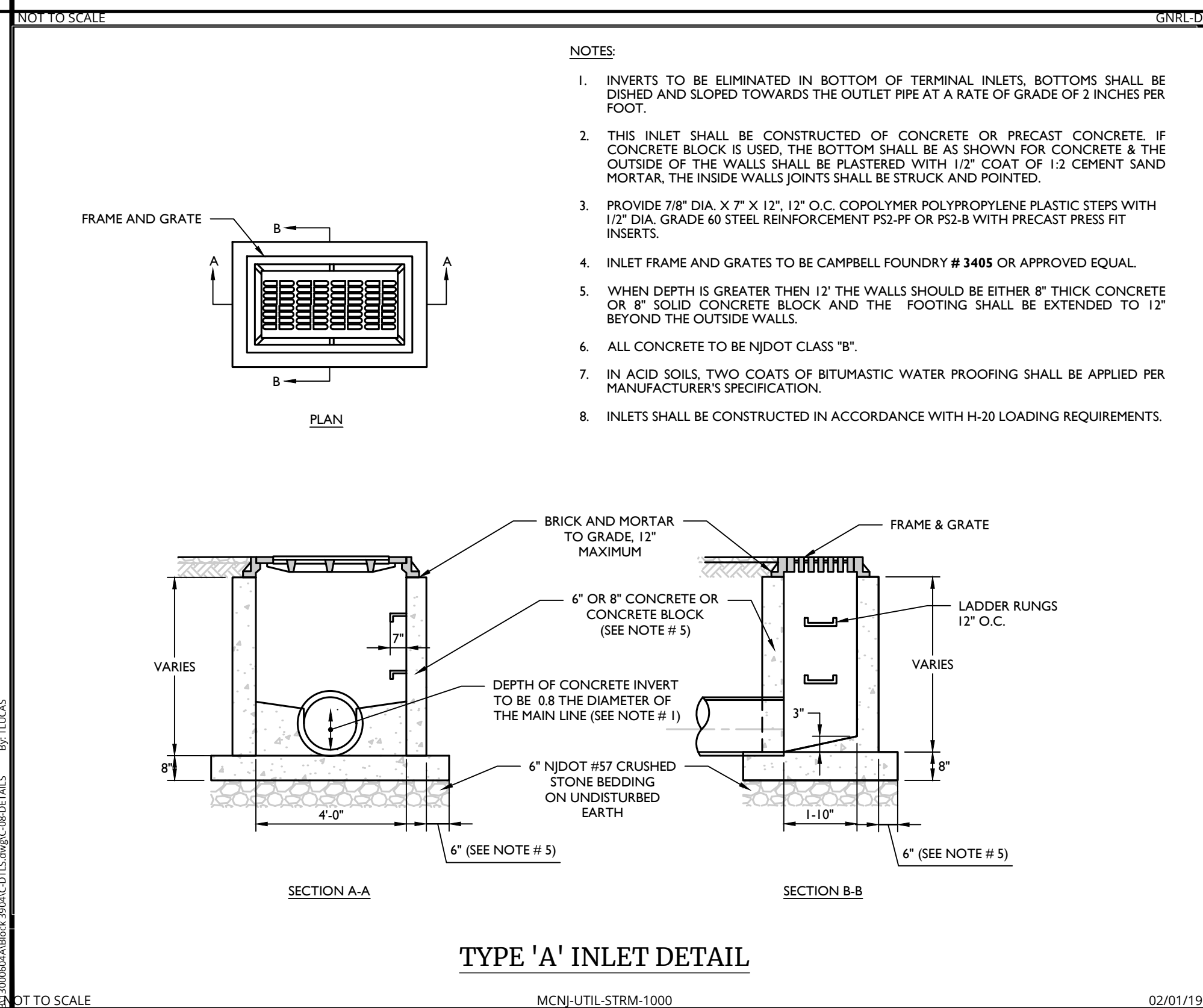
GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.contechES.com
 - KRAKEN FILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO M502 LOAD RATING, ASSUMING EARTH COVER OF 0' - 10' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE KRAKEN FILTER STRUCTURE.
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

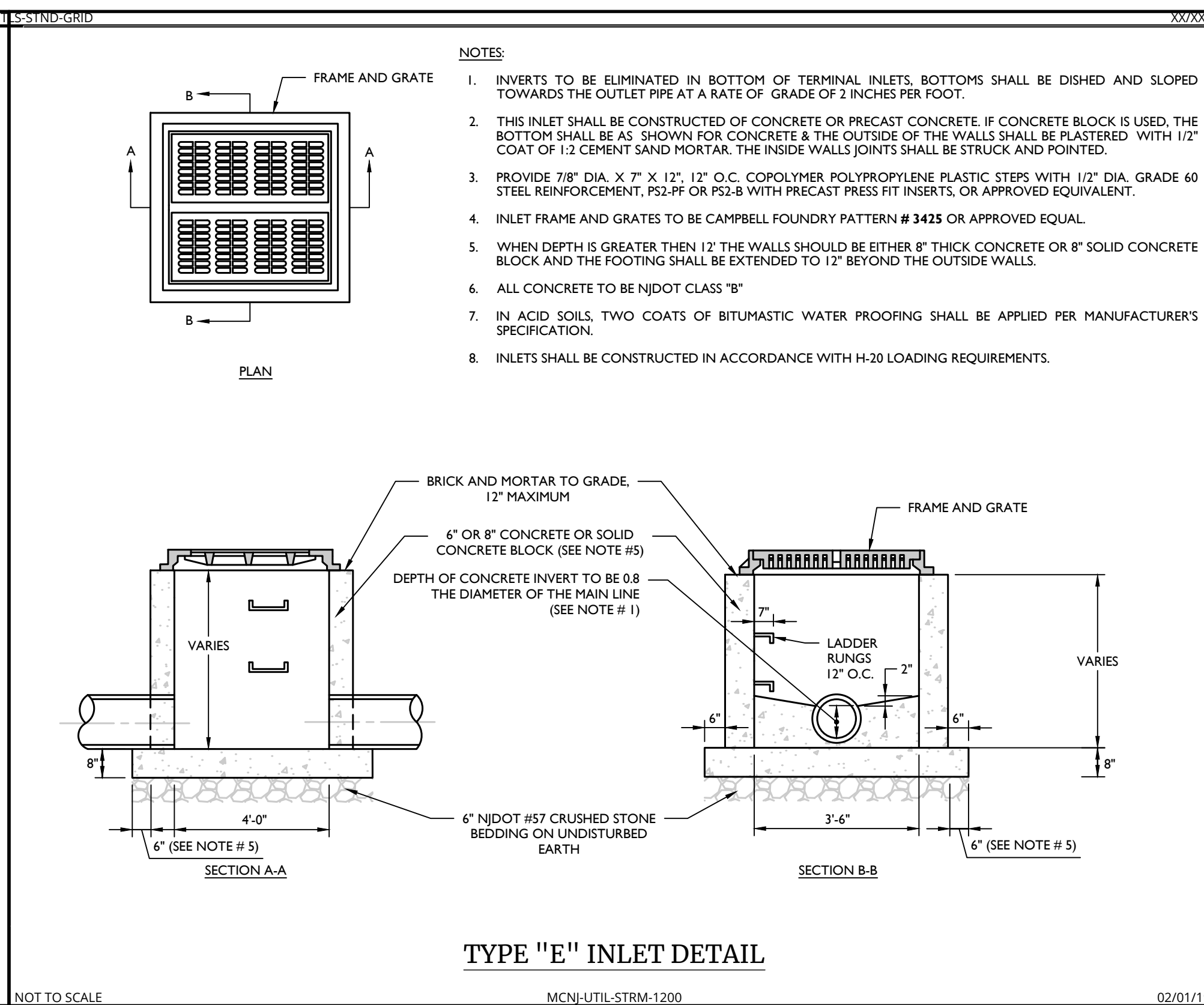


KFPD0608 (6' X 8')
PEAK DIVERSION KRAKEN FILTER
STANDARD DETAIL

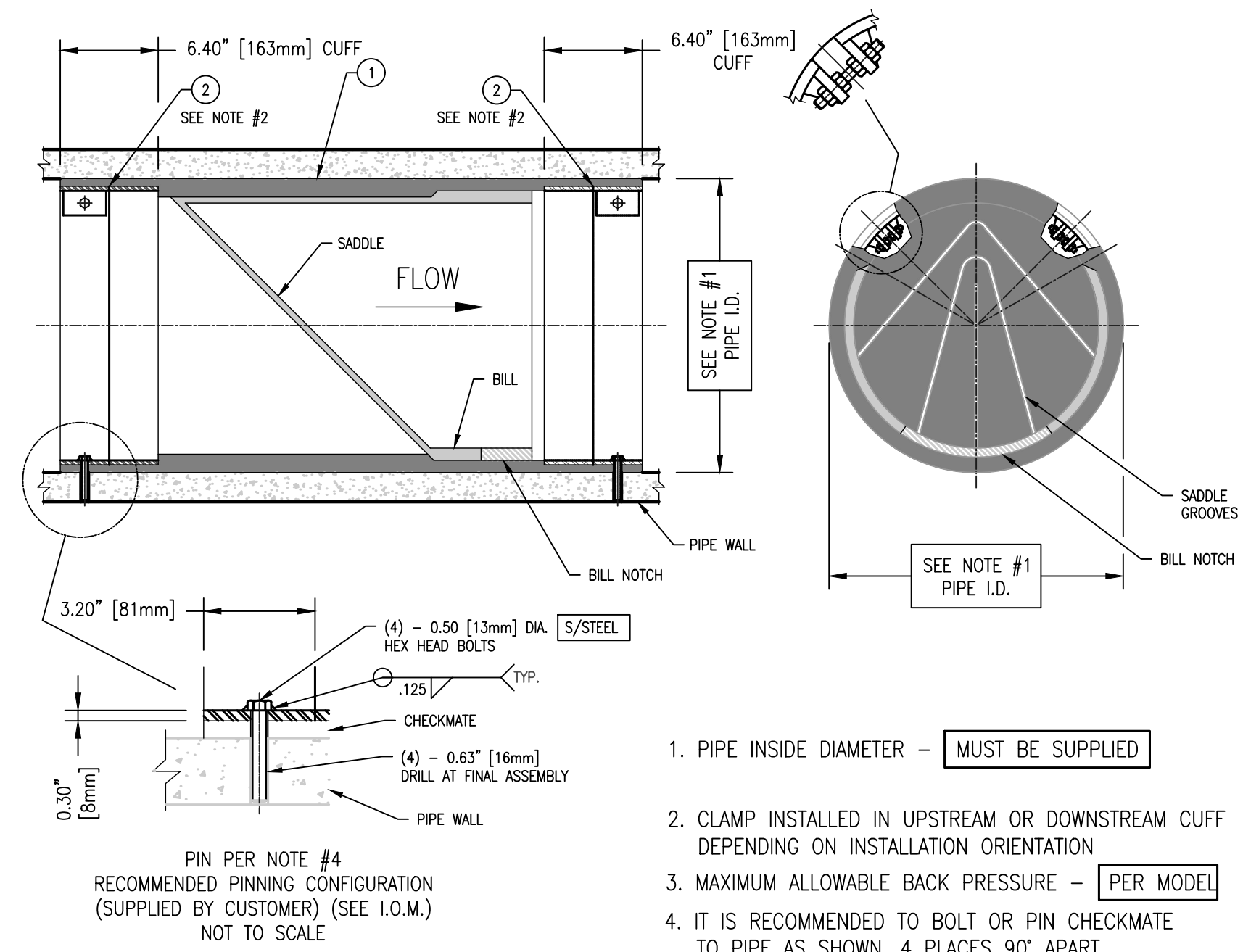
MANUFACTURED TREATMENT DEVICE



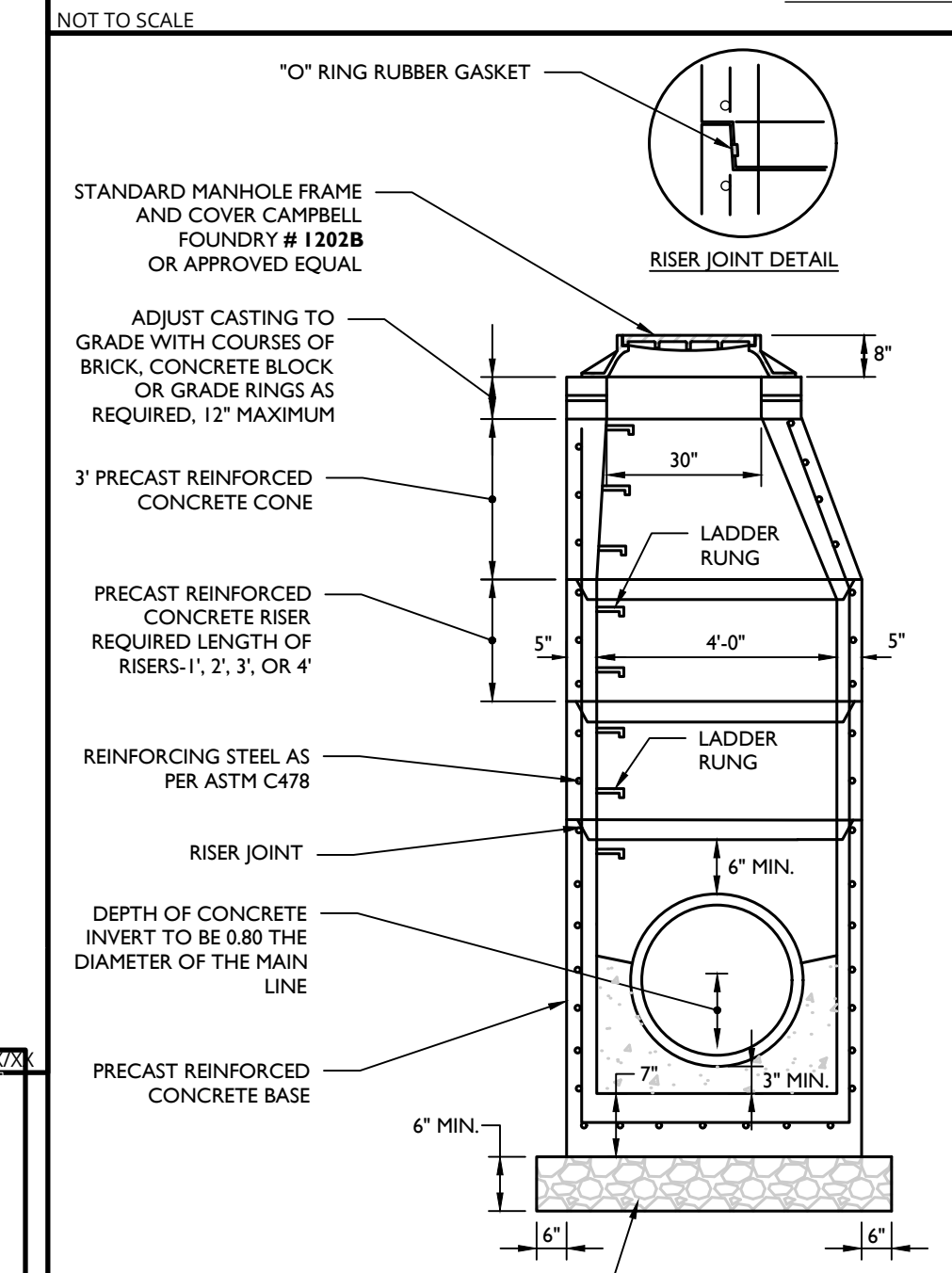
TYPE 'A' INLET DETAIL



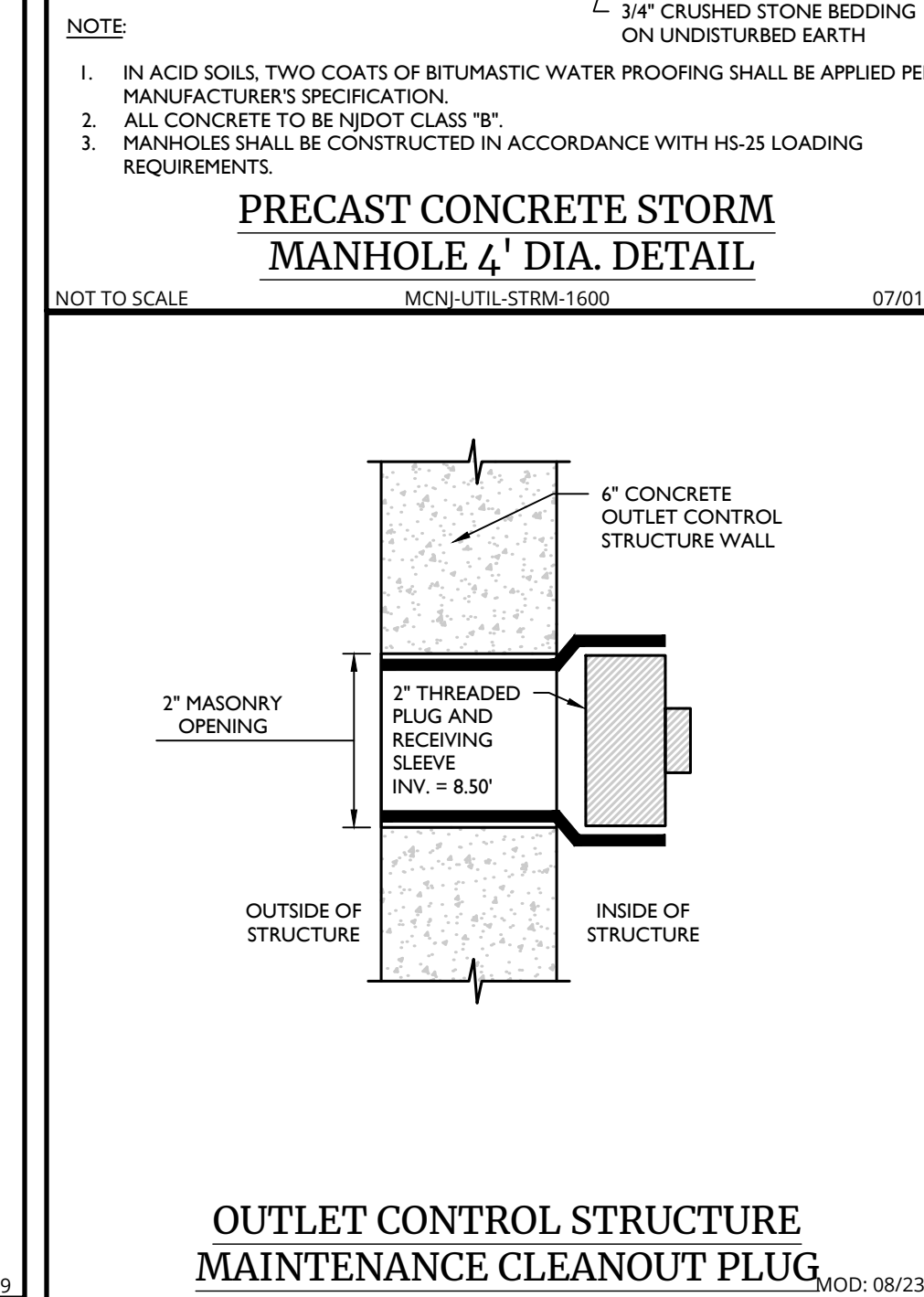
TYPE 'E' INLET DETAIL



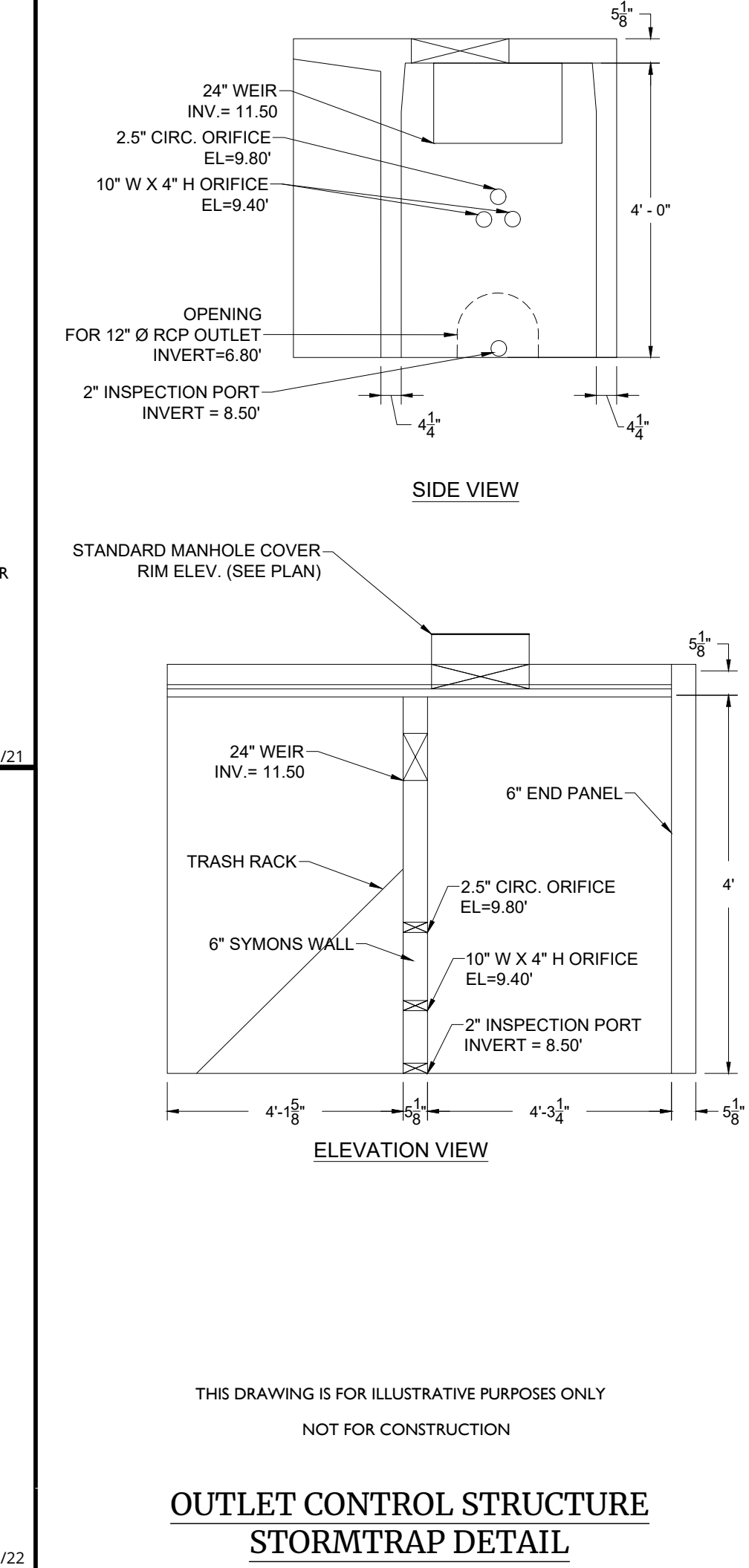
TIDEFLEX ULTRAFLEX CHECKMATE CHECK VALVE DETAIL
(OR APPROVED EQUAL)



PRECAST CONCRETE STORM
MANHOLE 4' DIA. DETAIL



OUTLET CONTROL STRUCTURE
MAINTENANCE CLEANOUT PLUG



OUTLET CONTROL STRUCTURE
STORMTRAP DETAIL

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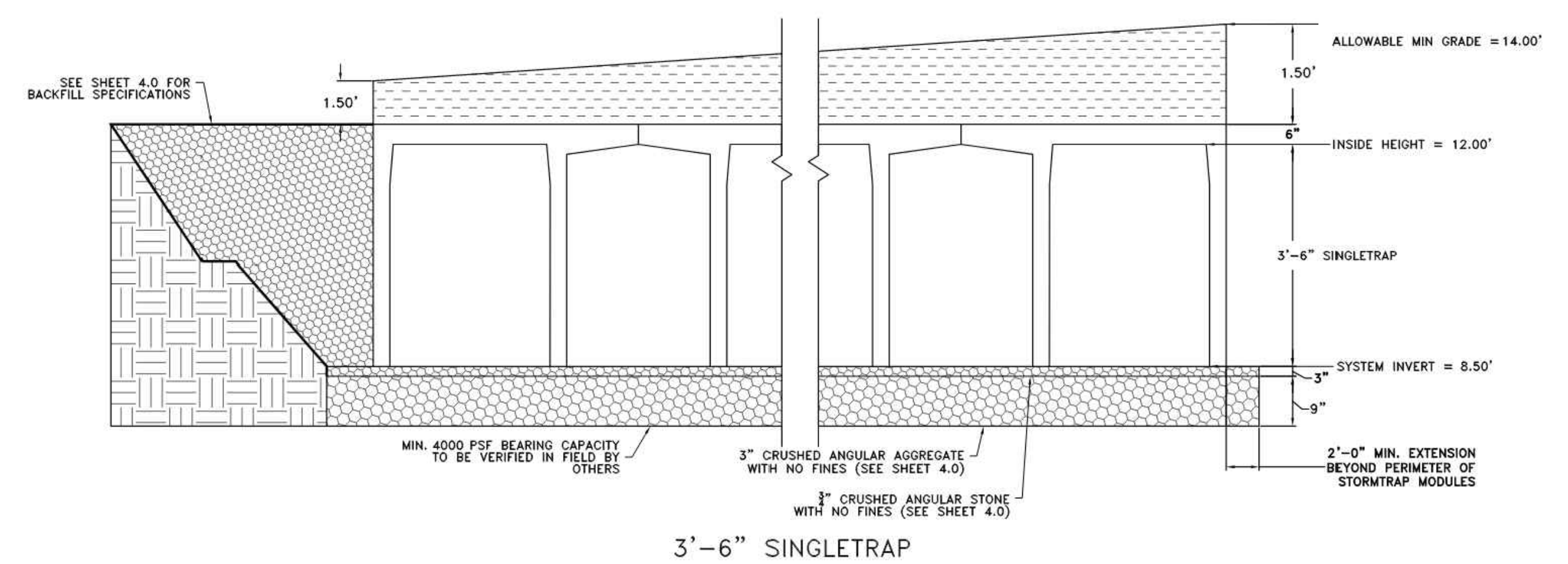
STRUCTURAL DESIGN LOADING CRITERIA	
LIVE LOADING: AASHTO HS-20 HIGHWAY LOADING	
GROUND WATER TABLE: BELOW INVERT OF SYSTEM	
SOIL BEARING PRESSURE: 4000PSF	
SOIL DENSITY: 120 PCF	
EQUIVALENT UNSATURATED LATERAL ACTIVE EARTH PRESSURE: 35 PSF / FT.	
EQUIVALENT SATURATED LATERAL ACTIVE EARTH PRESSURE: 80 PSF/FT. (IF WATER TABLE PRESENT)	
APPLICABLE CODES: ASTM C857 ACI-318	
BACKFILL TYPE: SEE SHEET 4.0 FOR BACKFILL OPTIONS	

STORMTRAP SYSTEM INFORMATION	
UNIT HEADROOM:	3'-6" SINGLETRAP
TOTAL STORAGE PROV:	12,849.47 CUBIC FEET

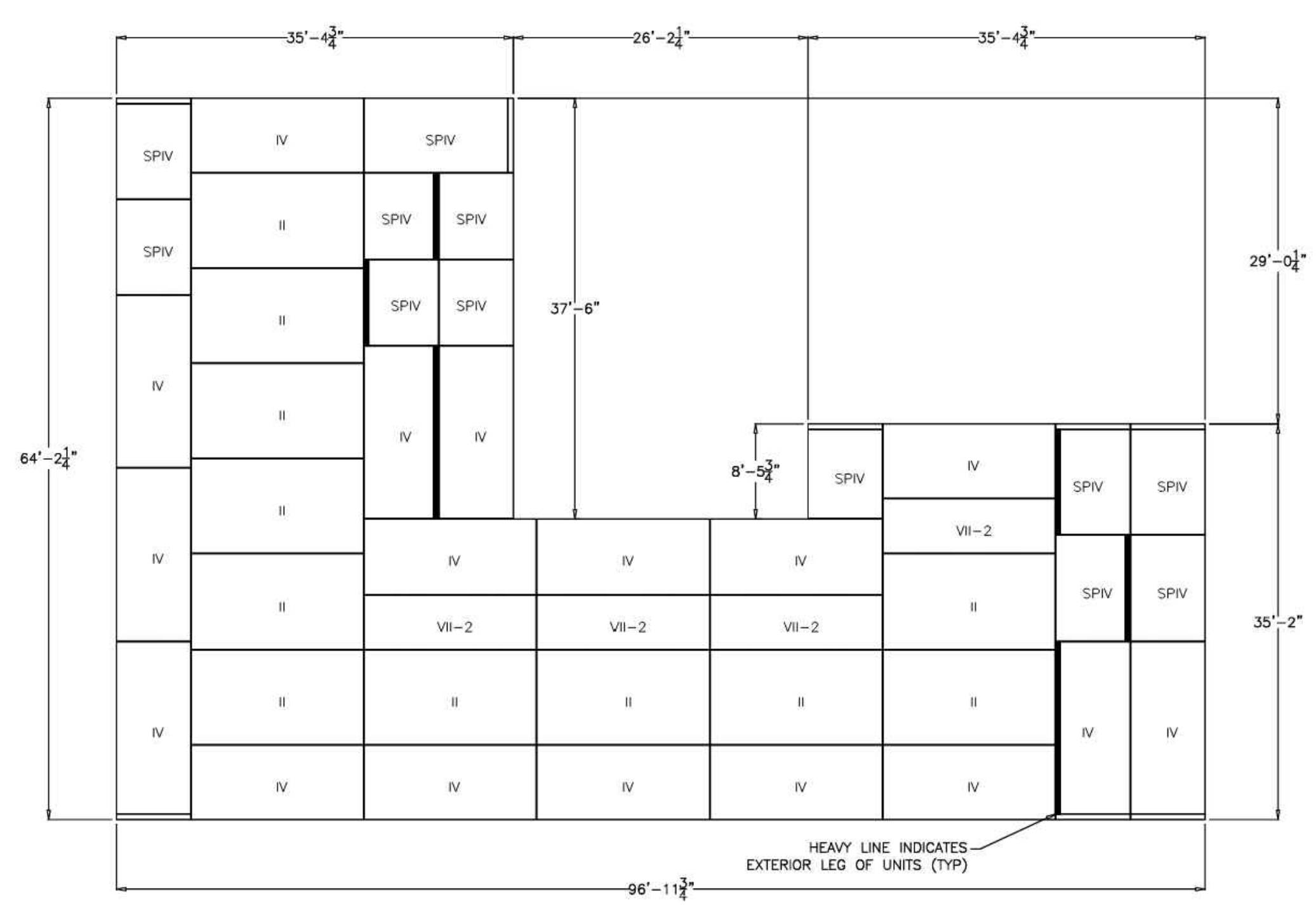
- SITE SPECIFIC DESIGN CRITERIA**
- STORMTRAP UNITS SHALL BE MANUFACTURED AND INSTALLED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER OF RECORD. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF ROOF OPENINGS AND INLET/OUTLET PIPE TYPES, SIZES, INVERT ELEVATIONS AND SIZE OF OPENINGS.
 - COVER RANGE: MIN. 1.50' MAX. 1.50' CONSULT STORMTRAP FOR ADDITIONAL COVER OPTIONS.
 - ALL DIMENSIONS AND SOIL CONDITIONS, INCLUDING BUT NOT LIMITED TO GROUNDWATER AND SOIL BEARING CAPACITY ARE REQUIRED TO BE VERIFIED IN THE FIELD BY OTHERS PRIOR TO STORMTRAP INSTALLATION.
 - FOR STRUCTURAL CALCULATIONS THE GROUND WATER TABLE IS ASSUMED TO BE BELOW INVERT OF SYSTEM IF WATER TABLE IS DIFFERENT THAN ASSUMED, CONTACT STORMTRAP.

BILL OF MATERIALS		
QTY.	UNIT TYPE	DESCRIPTION
0	I	3'-6" SINGLETRAP
11	II	3'-6" SINGLETRAP
0	III	3'-6" SINGLETRAP
17	IV	3'-6" SINGLETRAP
0	VII	3'-6" SINGLETRAP
0	VII-1	3'-6" SINGLETRAP
4	VII-2	3'-6" SINGLETRAP
0	VII-3	3'-6" SINGLETRAP
0	VII-4	3'-6" SINGLETRAP
0	SPIII	3'-6" SINGLETRAP
12	SPIV	3'-6" SINGLETRAP
0	T2 PANEL	6" THICK PANEL
0	T4 PANEL	6" THICK PANEL
0	T7 PANEL	6" THICK PANEL
9	JOINTWRAP	150' PER ROLL
0	JOINTTAPE	14.5' PER ROLL
TOTAL PIECES =		44
TOTAL PANELS =		8
HEAVIEST PICK WEIGHT =		15,844

- DESIGN CRITERIA**
- ALLOWABLE MAX GRADE = 14.00'
ALLOWABLE MIN GRADE = 14.00'
INSIDE HEIGHT ELEVATION = 12.00'
SYSTEM INVERT = 8.50'
- NOTES:**
- DIMENSIONING OF STORMTRAP SYSTEM SHOWN BELOW ALLOW FOR A 3/4" GAP BETWEEN EACH MODULE.
 - ALL DIMENSIONS TO BE VERIFIED IN THE FIELD BY OTHERS.
 - SEE SHEET 3.0 FOR INSTALLATION SPECIFICATIONS.
 - SP - INDICATES A MODULE WITH MODIFICATIONS.
 - P - INDICATES A MODULE WITH A PANEL ATTACHMENT.
 - CONTRACTOR'S RESPONSIBILITY TO ENSURE CONSISTENCY/ACCURACY TO FINAL ENGINEER OF RECORD PLAN SET.
 - IN ORDER FOR STORMTRAP TO GENERATE APPROVAL DRAWINGS, CIVIL ENGINEERING DRAWINGS MUST BE PROVIDED TO STORMTRAP AND SHALL INCLUDE ALL PIPE SIZES, PIPE MATERIAL, PIPE INVERT ELEVATIONS, ACCESS OPENING SIZE AND SHAPE. IN ADDITION, FINAL GRADING PLANS SHALL ALSO INCLUDE MINIMUM AND MAXIMUM GRADES OVER THE TOP OF THE STORMTRAP SYSTEM.



SINGLETRAP DESIGN CRITERIA

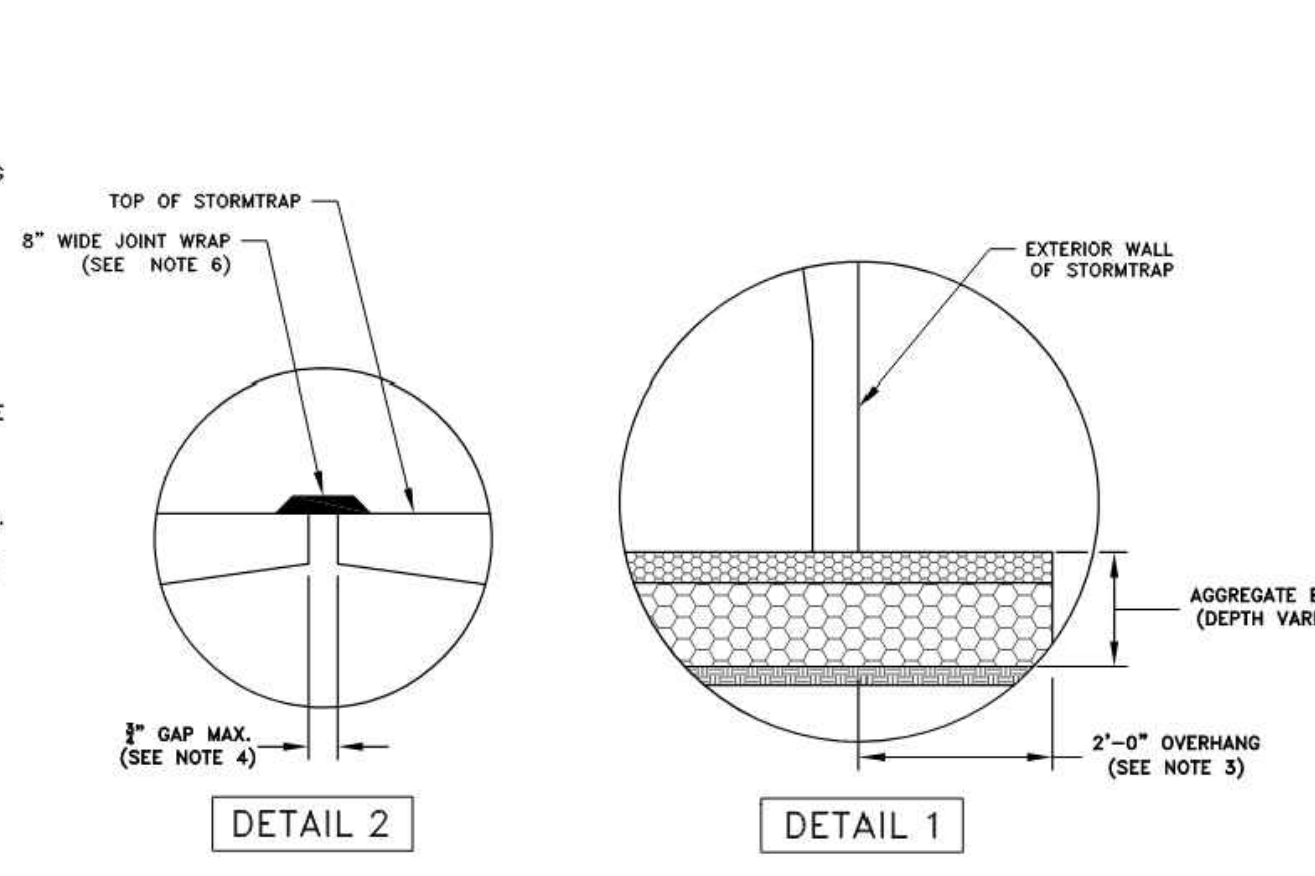
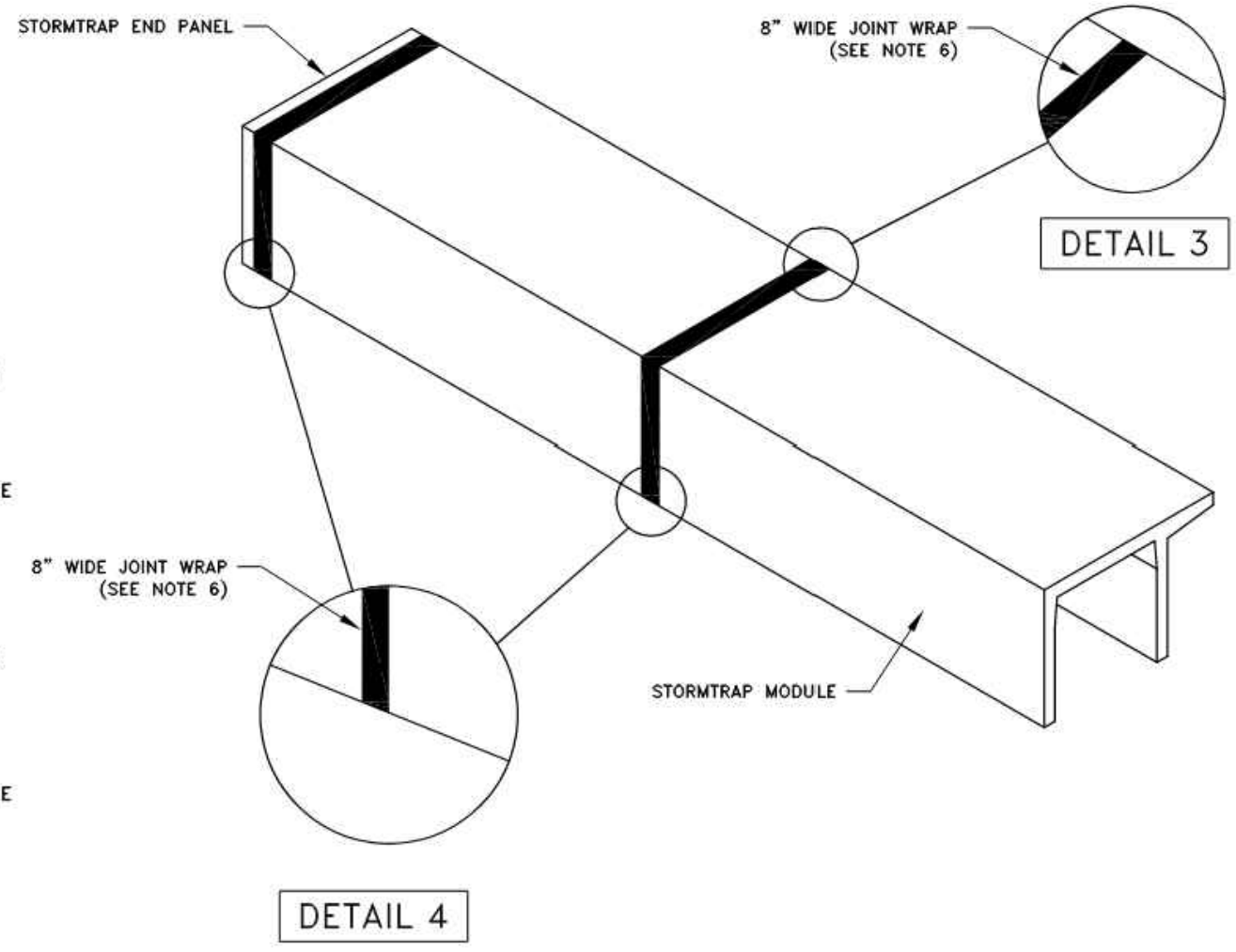


SINGLETRAP SYSTEM LAYOUT

NOT TO SCALE GNRL-DTLS-STND-GRID 07/03/24

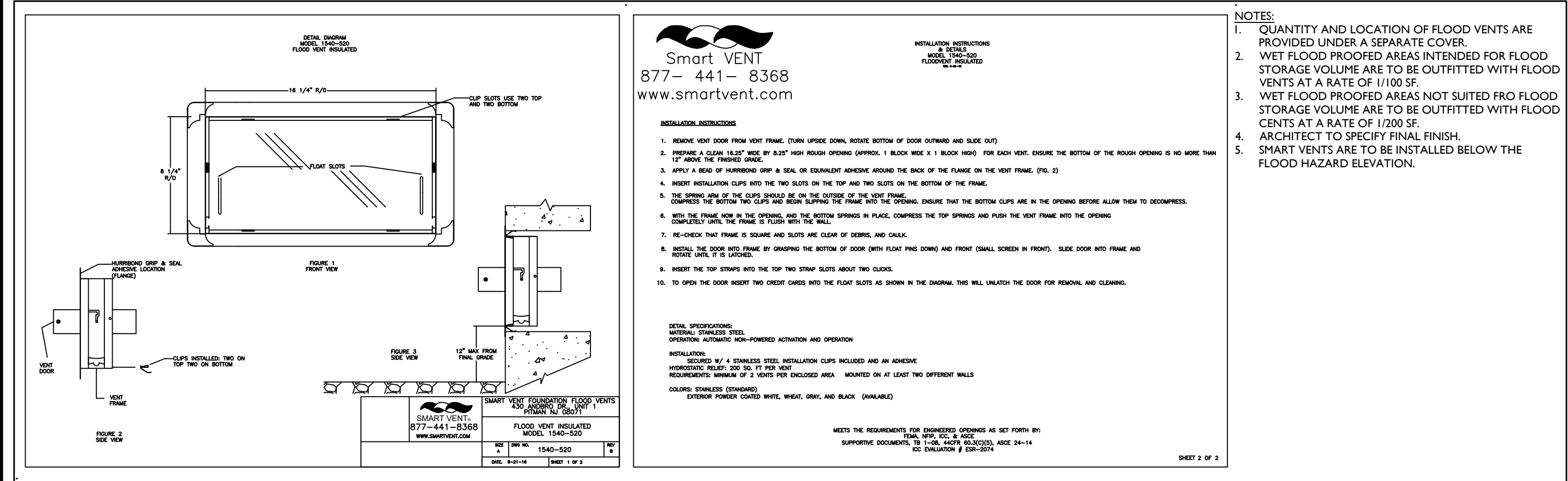
NOT TO SCALE GNRL-DTLS-STND-GRID 07/03/24

- STORMTRAP INSTALLATION SPECIFICATION**
- STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C891 (STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES). THE FOLLOWING ADDITIONS AND/OR EXCEPTIONS ARE PROVIDED FOR EMPHASIS. THE MENTION OF THESE ITEMS DOES NOT PRECLUDE THE INSTALLING CONTRACTOR FROM FOLLOWING ASTM C891 IN ITS ENTIRETY AND IMPLEMENTING ALL APPROPRIATE MEASURES. THE INSTALLING CONTRACTOR OWNS AND IS RESPONSIBLE FOR THE STORMTRAP SYSTEM UPON REMOVAL OF THE MODULES FROM THE DELIVERY TRUCK THROUGH "FINAL CONSTRUCTION". FINAL CONSTRUCTION IS ACHIEVED WHEN ALL MODULES ARE SET, FULLY BACKFILLED, AND WHEN FINAL FINISHED GRADES ARE REACHED. THE CONTRACTOR IS RESPONSIBLE FOR ANY COUNTERMEASURES NECESSARY TO RESIST UPLIFT/BUOYANCY BEFORE "FINAL CONSTRUCTION" IS ACHIEVED.
 - IT IS THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR TO ENSURE THAT PROPER/ADEQUATE EQUIPMENT IS USED TO SET/INSTALL THE MODULES.
 - THE AGGREGATE FOUNDATION HAS BEEN DESIGNED BASED ON THE FOLLOWING ASSUMPTIONS. THESE ASSUMPTIONS WILL NEED TO BE VERIFIED BY A GEOTECHNICAL ENGINEER WHICH WILL NEED TO BE EMPLOYED BY THE OWNER.
 - A QUALIFIED GEOTECHNICAL ENGINEER WILL BE EMPLOYED, BY OWNER, TO PROVIDE ASSISTANCE IN EVALUATING THE EXISTING SOIL CONDITIONS BELOW THE PROPOSED ENGINEERED STONE FOUNDATION. IF A STONE FOUNDATION DESIGN IS TO BE USED, THE BEARING PRESSURE OF THE SOILS BELOW THE STONE WILL NEED TO MEET OR EXCEED ALLOWABLE CAPACITY. IF THIS IS NOT POSSIBLE, THE STONE FOUNDATION MAY NOT BE AN OPTION FOR THIS LOCATION.
 - A QUALIFIED GEOTECHNICAL ENGINEER WILL BE EMPLOYED, BY OWNER, TO EVALUATE A SOURCE OF STONE AGGREGATES THAT WILL BE PLACED ON PROPERLY COMPACTED SOILS (SEE SHEET 1.1 FOR SOIL BEARING CAPACITY REQUIREMENTS). THE AGGREGATE BASE COURSE FOR WHICH THE STORMTRAP SYSTEM WILL BEAR DIRECTLY ON SHALL CONSIST OF A 3" THICK BED OF 3/4" DIAMETER ANGULAR STONE, WELL COMPACTED AND SEATED, WITH NO FINES, AND A 9" THICK BED OF 3" ANGULAR AGGREGATE (SEE SHEET 4.0 FOR FURTHER DESCRIPTION/EXPLANATION). PLEASE NOTE THAT THESE ARE ONLY MINIMUM RECOMMENDATIONS AND A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE USED TO DETERMINE THE EXACT REQUIREMENTS FOR THE LOCATIONS THAT THE STORMTRAP SYSTEM IS TO BE LOCATED.
 - THE CONTRACTOR SHALL REMOVE ANY AND ALL EXPANDABLE OR COLLAPSIBLE SOILS AT THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER.
 - THE AGGREGATE FOUNDATION SHALL BE INSTALLED SUCH THAT THE AGGREGATE EXTENDS A MINIMUM OF 2'-0" PAST THE OUTSIDE OF THE SYSTEM (SEE DETAIL 1).
 - THE 3" AGGREGATE SHALL BE COMPACTED USING A VIBRATING ROLLER WITH ITS' FULL DYNAMIC FORCE APPLIED TO ACHIEVE A FLAT SURFACE.
 - DISK, DRY AND COMPACT THE TOP 8" OF THE SUBGRADE SOILS TO 95% OF THE STANDARD DRY DENSITY AND 110% OPTIMUM MOISTURE CONTENT.
 - AGGREGATE SHALL BE GRADED WITHIN +/- 1/4" OF THE GRADE SHOWN ON THE PLANS.
 - MINIMUM SOIL BEARING CAPACITY LISTED ON SHEET 1.1 SHALL BE VERIFIED IN FIELD BY OTHERS.
 - THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED 3/4" (SEE DETAIL 2). IF THE SPACE EXCEEDS 3/4", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO LINE AND GRADE TO BRING THE SPACE INTO SPECIFICATION.
 - STORMTRAP MODULES ARE NOT WATERTIGHT. IF A WATERTIGHT SOLUTION IS REQUIRED, CONTACT STORMTRAP FOR RECOMMENDATIONS. THE WATERTIGHT APPLICATION IS TO BE PROVIDED AND IMPLEMENTED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE SELECTED WATERTIGHT SOLUTION PERFORMS AS SPECIFIED BY THE MANUFACTURER.
 - ALL EXTERIOR ROOF AND EXTERIOR VERTICAL WALL JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH 8" WIDE PRE-FORMED, COLD-APPLIED, SELF-ADHERING ELASTOMERIC RESIN, BONDED TO A WOVEN, HIGHLY PUNCTURE RESISTANT POLYMER WRAP, CONFORMING TO ASTM C891 AND SHALL BE INTEGRATED WITH PRIMER SEALANT AS APPROVED BY STORMTRAP (SEE DETAILS 2, 3, & 4). THE JOINT WRAP DOES NOT PROVIDE A WATERTIGHT SEAL. THE SOLE PURPOSE OF THE JOINT WRAP IS TO PROVIDE A SILT AND SOIL TIGHT SYSTEM. THE ADHESIVE EXTERIOR JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
 - USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE POINT WHERE THE JOINT WRAP IS TO BE APPLIED.
 - A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE (ADHESIVE SIDE DOWN) AROUND THE STRUCTURE, REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.
 - IF THE CONTRACTOR NEEDS TO CANCEL ANY SHIPMENTS, THEY MUST DO SO 48 HOURS PRIOR TO THEIR SCHEDULED ARRIVAL AT THE JOB SITE. IF CANCELED AFTER THAT TIME, PLEASE CONTACT THE PROJECT MANAGER.
 - IF THE STORMTRAP MODULE(S) IS DAMAGED IN ANY WAY PRIOR, DURING, OR AFTER INSTALL, STORMTRAP MUST BE CONTACTED IMMEDIATELY TO ASSESS THE DAMAGE AND TO DETERMINE WHETHER OR NOT THE MODULE(S) WILL NEED TO BE REPLACED. IF ANY MODULE ARRIVES AT THE JOBSITE DAMAGED DO NOT UNLOAD IT; CONTACT STORMTRAP IMMEDIATELY. ANY DAMAGE NOT REPORTED BEFORE THE TRUCK IS UNLOADED WILL BE THE CONTRACTOR'S RESPONSIBILITY.



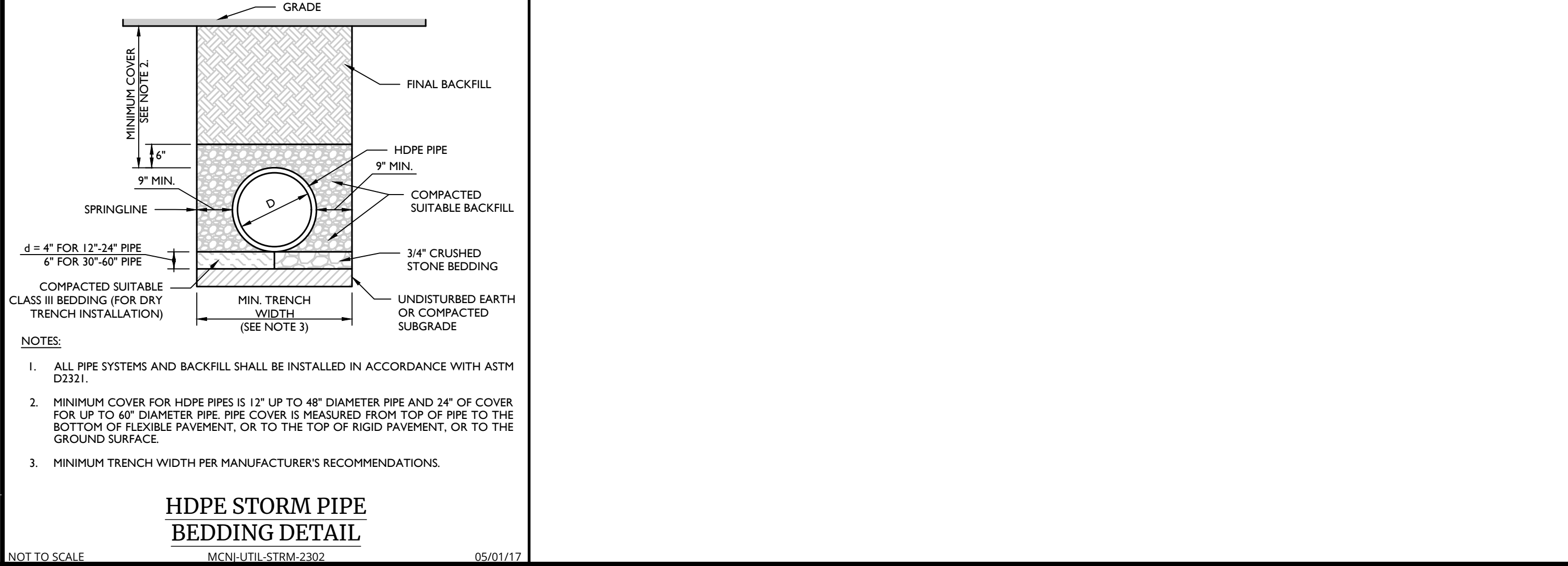
SINGLETRAP INSTALLATION SPECIFICATION

NOT TO SCALE GNRL-DTLS-STND-GRID 07/03/24



SMART VENT DETAIL

NOT TO SCALE GNRL-DTLS-STND-GRID XX/XX/XX



HDPE STORM PIPE BEDDING DETAIL

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LICENSE NUMBER: GE34705

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NY C.O.A.#: 24624798550

PRELIMINARY AND FINAL MAJOR SITE PLAN

FOR **ASBURY PARTNERS LLC**

1089 OCEAN AVENUE
ASBURY PARK, NJ

BLOCK 3904, LOT 1
110 FIRST AVENUE
TAXMAP SHEET 39
DATED 12/2015

CITY OF ASBURY PARK
MONMOUTH COUNTY
NEW JERSEY

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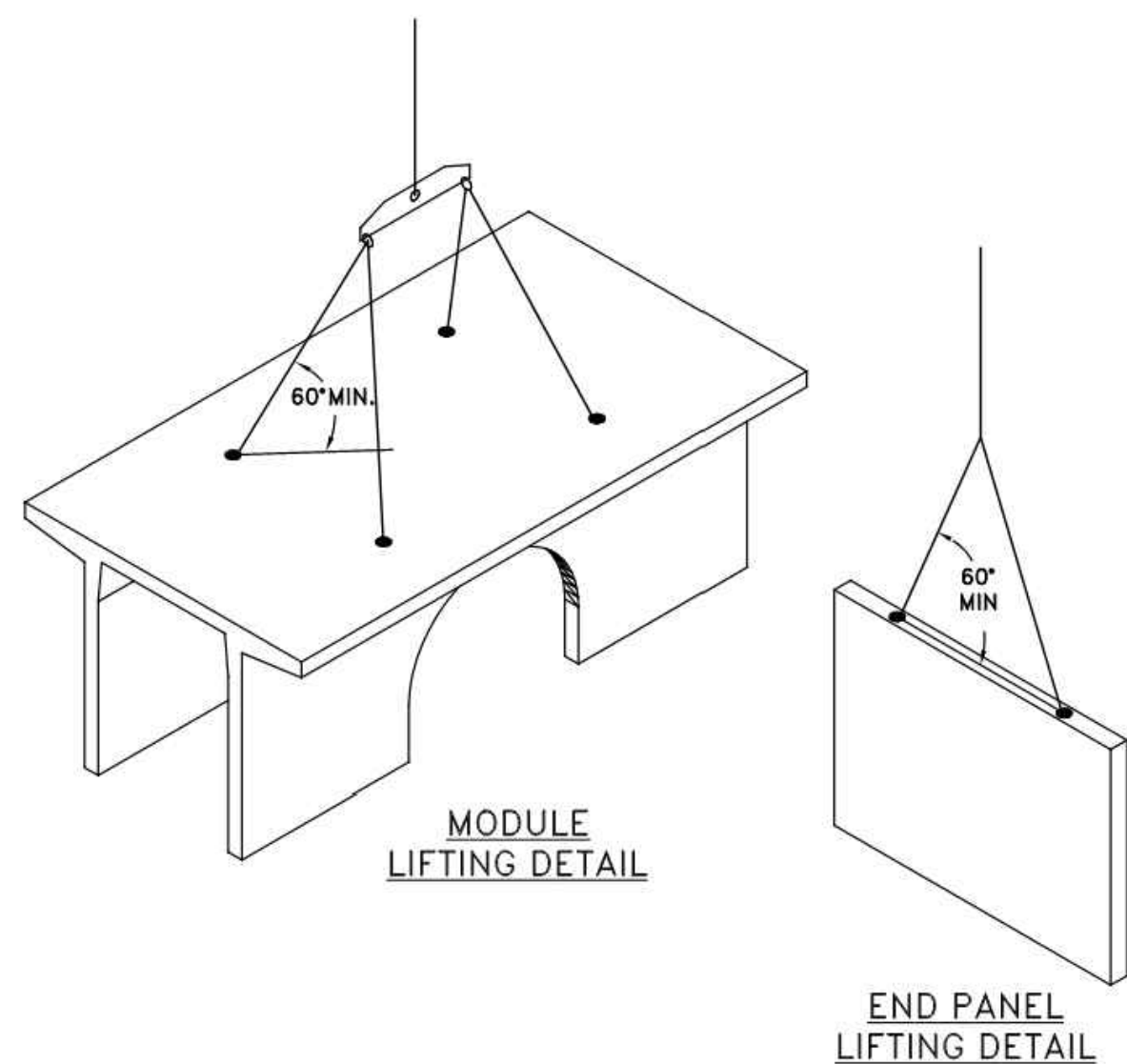
PROJECT NUMBER: 13000604AE DRAWING NAME: C-DTLS

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: 9 of 10

STORMTRAP MODULE LIFTING SPECIFICATION

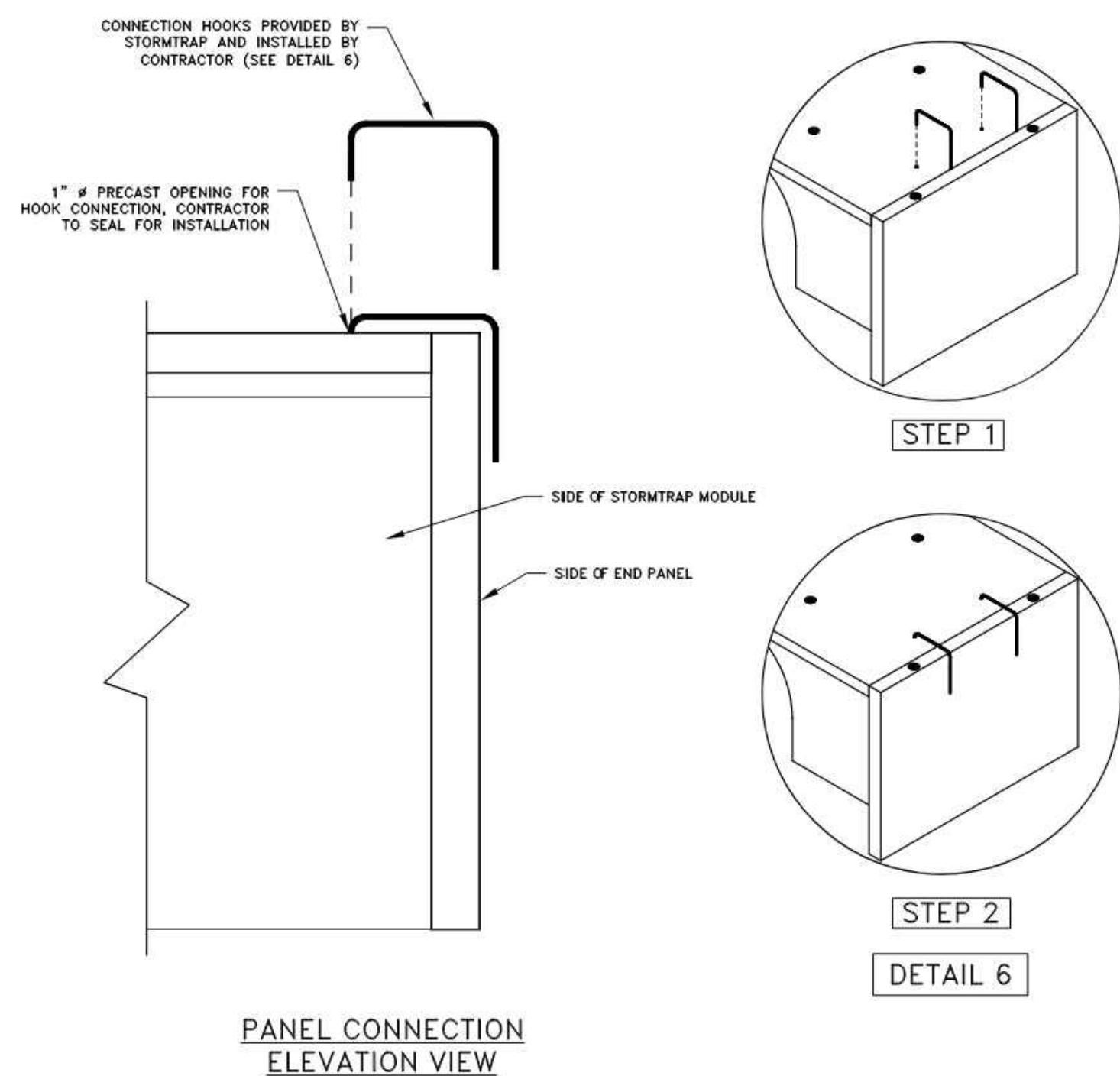
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL (4) CHAINS/CABLES ARE SECURED PROPERLY TO THE LIFTING ANCHORS AND IN EQUAL TENSION WHEN LIFTING THE STORMTRAP MODULE.
- MINIMUM 7'-0" CHAIN/CABLE LENGTH TO BE USED TO LIFT STORMTRAP MODULES (SUPPLIED BY CONTRACTOR).
- CONTRACTOR TO ENSURE MINIMUM LIFTING ANGLE IS 60° FROM TOP SURFACE OF STORMTRAP MODULE. SEE DETAIL.
- IT IS UNDERSTOOD AND AGREED THAT AT ALL TIMES DURING WHICH HOISTING AND RIGGING EQUIPMENT IS BEING SUPPLIED TO THE PURCHASER, OPERATOR OF SUCH EQUIPMENT SHALL BE IN CHARGE OF HIS ENTIRE EQUIPMENT AND SHALL AT ALL TIMES BE THE JUDGE OF THE SAFETY AND PROPERTY OF ANY SUGGESTION TO HIM FROM THE SELLER, ITS AGENTS OR EMPLOYEES. PURCHASER AGREES TO SAVE, INDEMNIFY AND HOLD HARMLESS SELLER FROM ALL LOSS, CLAIMS, DEMANDS OR CAUSES OF ACTION WHICH MAY ARISE FROM THE EXISTENCE OR OPERATION OF SAID EQUIPMENT.



SINGLETRAP INSTALLATION SPECIFICATION

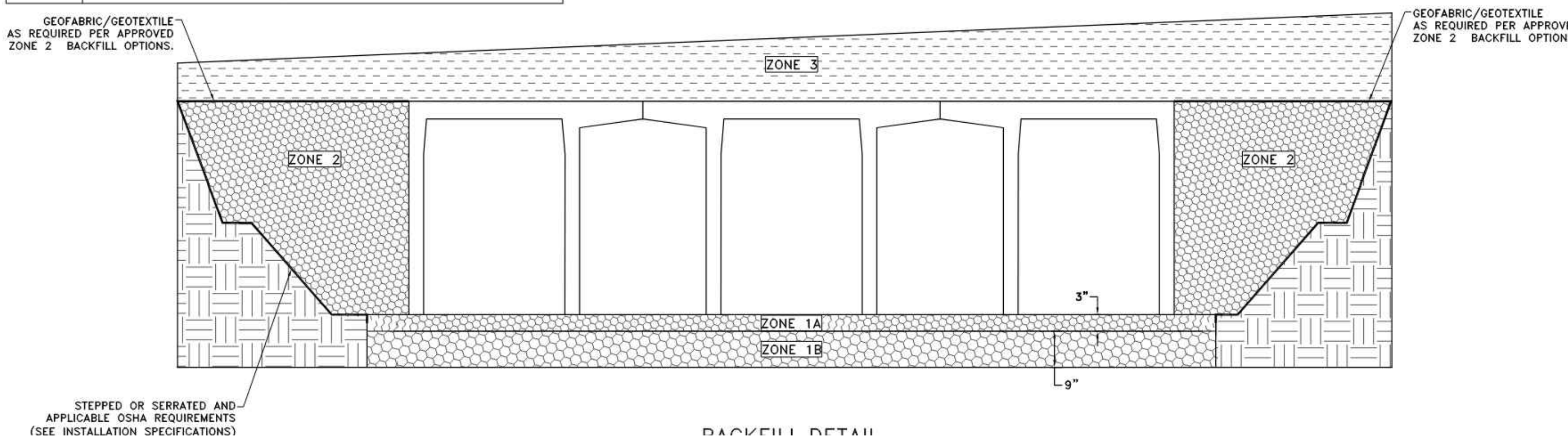
END PANEL ERECTION/INSTALLATION SPECIFICATION

- END PANELS WILL BE SUPPLIED TO CLOSE OFF OPEN ENDS OF ROWS.
- PANELS SHALL BE INSTALLED IN A TILT UP FASHION DIRECTLY ADJACENT TO OPEN END OF MODULE (REFER TO SHEET 2.0 FOR END PANEL LOCATIONS).
- CONNECTION HOOKS WILL BE SUPPLIED WITH END PANELS TO SECURELY CONNECT PANEL TO ADJACENT STORMTRAP MODULE (SEE PANEL CONNECTION ELEVATION VIEW).
- ONCE CONNECTION HOOK IS ATTACHED, LIFTING CLUTCHES MAY BE REMOVED.
- JOINT WRAP SHALL BE PLACED AROUND PERIMETER JOINT PANEL (SEE SHEET 3.0).



ZONE CHART		
ZONES	ZONE DESCRIPTIONS	REMARKS
ZONE 1A	FOUNDATION AGGREGATE	#5 (3") STONE ANGULAR AGGREGATE (SEE NOTE 4 FOR DESCRIPTION)
ZONE 1B	FOUNDATION AGGREGATE (INFILTRATION NOT ALLOWED)	3" RECYCLED CRUSHED CONCRETE (SEE NOTES 5 & 6 FOR DESCRIPTION)
ZONE 2	FOUNDATION AGGREGATE (INFILTRATION ALLOWED)	3" STONE AGGREGATE (SEE NOTE 5)
ZONE 2	BACKFILL	UNIFIED SOILS CLASSIFICATION (GW, GP, SW, SP) OR SEE BELOW FOR APPROVED BACKFILL OPTIONS
ZONE 3	FINAL COVER OVERTOP	MATERIALS NOT TO EXCEED 120 PCF

APPROVED ZONE 2 BACKFILL OPTIONS	
OPTION	REMARKS
3" STONE AGGREGATE	THE STONE AGGREGATE SHALL CONSIST OF CLEAN AND FREE DRAINING ANGULAR MATERIAL. THE SIZE OF THIS MATERIAL SHALL HAVE 100% PASSING THE 1" SIEVE WITH 0% TO 5% PASSING THE #8 SIEVE. THIS MATERIAL SHALL BE SEPARATED FROM NATIVE MATERIAL USING GEOTEXTILE AROUND THE PERIMETER OF THE BACKFILL (ASTM SIZE #57) AS DETERMINED BY THE GEOTECHNICAL ENGINEER.
SAND	IMPORTED PURE SAND IS PERMITTED TO BE USED AS BACKFILL IF IT IS CLEAN AND FREE DRAINING. THE SAND USED FOR BACKFILLING SHALL HAVE LESS THAN 40% PASSING #40 SIEVE AND LESS THAN 5% PASSING #200 SIEVE. THIS MATERIAL SHALL BE SEPARATED FROM NATIVE MATERIAL USING GEOTEXTILE AROUND THE PERIMETER OF THE SAND BACKFILL.
CRUSHED CONCRETE AGGREGATE	CLEAN, FREE DRAINING CRUSHED CONCRETE AGGREGATE MATERIAL CAN BE USED AS BACKFILL FOR STORMTRAP'S MODULES. THE SIZE OF THIS MATERIAL SHALL HAVE 100% PASSING THE 1" SIEVE WITH 0% TO 5% PASSING THE #8 SIEVE. THIS MATERIAL SHALL BE SEPARATED FROM NATIVE MATERIAL USING GEOTEXTILE AROUND THE PERIMETER OF THE BACKFILL.
ROAD PACK	STONE AGGREGATE 100% PASSING THE 1-1/2" SIEVE WITH LESS THAN 12% PASSING THE #200 SIEVE (ASTM SIZE #467), GEOTEXTILE AS PER GEOTECHNICAL ENGINEER RECOMMENDATION.



SINGLETRAP BACKFILL SPECIFICATION

STORMTRAP ZONE INSTALLATION SPECIFICATION/PROCEDURE

- THE FILL PLACED AROUND THE STORMTRAP MODULES MUST BE DEPOSITED ON BOTH SIDES AT THE SAME TIME AND TO APPROXIMATELY THE SAME ELEVATION. AT NO TIME SHALL THE FILL BEHIND ONE SIDE BE MORE THAN 2'-0" HIGHER THAN THE FILL ON THE OPPOSITE SIDE. BACKFILL SHALL EITHER BE COMPACTED AND/OR VIBRATED TO ENSURE THAT BACKFILL AGGREGATE/STONE MATERIAL IS WELL SEATED AND PROPERLY INTER LOCKED. CARE SHALL BE TAKEN TO PREVENT ANY WEDGING ACTION AGAINST THE STRUCTURE. AND ALL SLOPES WITHIN THE AREA TO BE BACKFILLED MUST BE STEPPED OR SERRATED TO PREVENT WEDGING ACTION. CARE SHALL ALSO BE TAKEN AS NOT TO DISRUPT THE JOINT WRAP FROM THE JOINT DURING THE BACKFILL PROCESS. BACKFILL MUST BE FREE-DRAINING MATERIAL. SEE ZONE 2 BACKFILL CHART ON THIS PAGE FOR APPROVED BACKFILL OPTIONS. IF NATIVE EARTH IS SUSCEPTIBLE TO MIGRATION, CONFIRM WITH GEOTECHNICAL ENGINEER AND PROVIDE PROTECTION AS REQUIRED (PROVIDED BY OTHERS). ALL MODULES MUST BE SET AND ALL SIDES MUST BE FULLY BACKFILLED BEFORE TRAVEL OVERTOP THE SYSTEM IS PERMITTED. SEE NOTE 2 FOR EXCEPTIONS AND LIMITATIONS.
- THE FILL PLACED OVERTOP THE SYSTEM SHALL BE PLACED IN MINIMUM 6" LIFTS. AT NO TIME SHALL MACHINERY OR VEHICLES GREATER THAN THE DESIGN LIVE LOAD LISTED ON SHEET 1.0 TRAVEL OVERTOP THE SYSTEM. IF TRAVEL OVER THE SYSTEM OCCURS BEFORE THE MINIMUM DESIGN COVER IS ACHIEVED, IT MAY BE NECESSARY TO REDUCE THE ULTIMATE LOAD/BURDEN OF THE OPERATING MACHINERY SO AS TO NOT EXCEED THE DESIGN CAPACITY OF THE SYSTEM. VEHICLES AND MACHINERY USED TO PLACE FILL MATERIAL ON TOP OF THE SYSTEM SHALL TRAVEL PARALLEL TO THE LONGITUDINAL AXIS OF THE STORMTRAP MODULES WHENEVER POSSIBLE.
- THE VIBRATORY FUNCTION OF ANY ROLLER, COMPACTOR, VEHICLE, ETC. SHALL NOT BE USED OVERTOP THE SYSTEM WITHOUT PRIOR APPROVAL FROM STORMTRAP. IN SOME CASES, HAND COMPACTION MAY BE NECESSARY TO ENSURE THAT THE ALLOWABLE DESIGN LOADING IS NOT EXCEEDED.
- FREE DRAINING ANGULAR AGGREGATE - 80% AGGREGATE RETAINED ON 1/2" SIEVE MAJORITY OF AGGREGATE SIZE BETWEEN 1/2" AND 1" ONLY 5% OF MATERIAL PASSING #8 SIEVE.
- FREE DRAINING, NO FINES, 3" ANGULAR AGGREGATE - MAJORITY OF STONE SIZE IN BETWEEN 1 1/2" AND 3" - VERY SIMILAR TO AASHTO (#1, #2, #3, & #24) STONE AGGREGATE GRADATION.
- CRUSHED CONCRETE AGGREGATE IS KNOWN TO REACT WITH WATER AND CAN INCREASE THE PH VALUE OF THE GROUND WATER. PRIOR TO USING CRUSHED CONCRETE AGGREGATE IN ZONE 1B IT IS IMPERATIVE THAT THE USE OF SUCH MATERIAL SHALL BE VERIFIED BY THE EOR AND/OR THE PROJECT GEOTECHNICAL ENGINEER.

NOT TO SCALE

GNRL-DTLS-STND-GRID

07/03/24

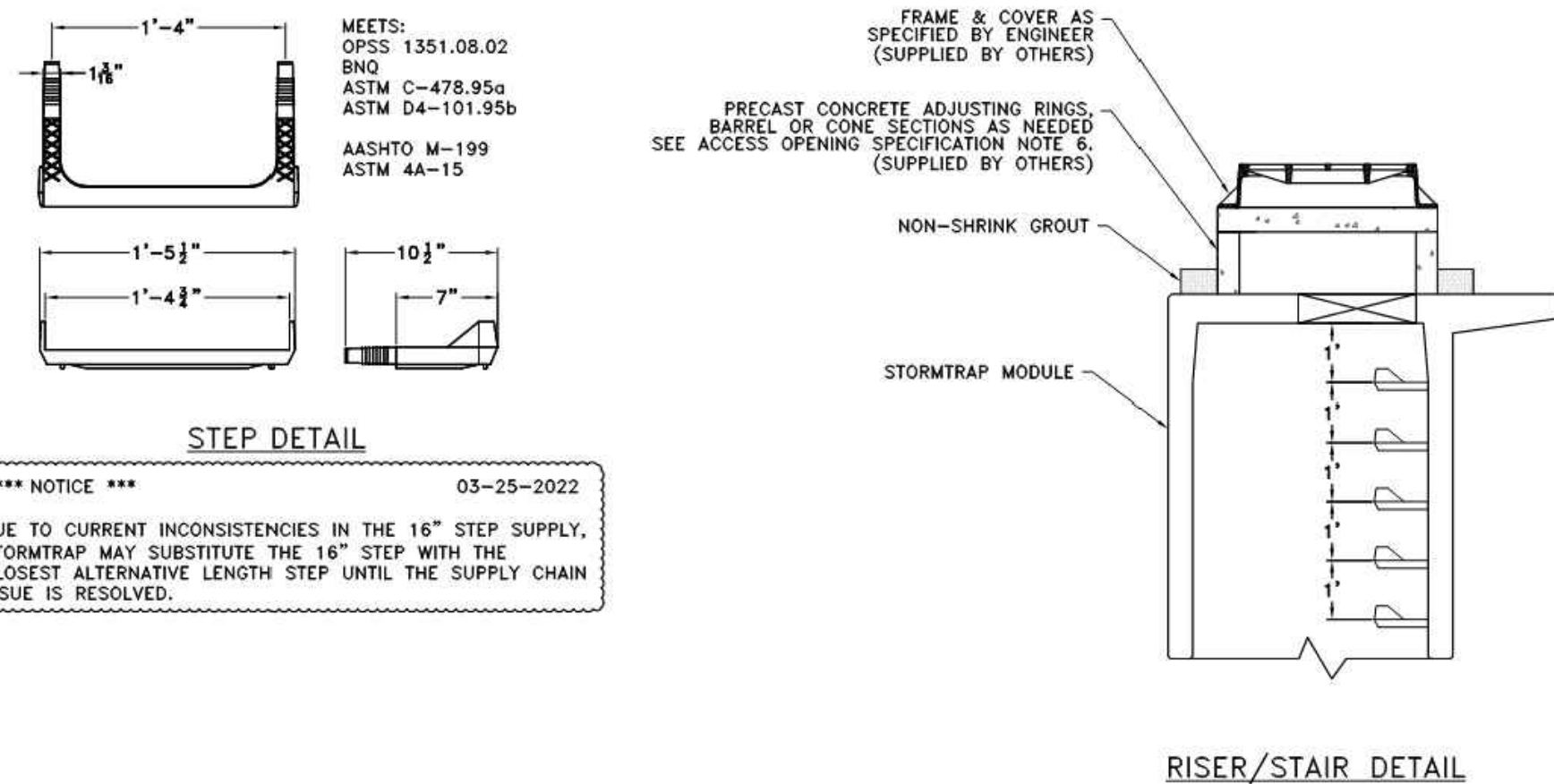
NOT TO SCALE

GNRL-DTLS-STND-GRID

MOD: 10/10/22

ACCESS OPENING SPECIFICATION

- A TYPICAL ACCESS OPENING FOR THE STORMTRAP SYSTEM ARE 2'-0" IN DIAMETER. ACCESS OPENINGS LARGER THAN 4'-0" IN DIAMETER NEED TO BE APPROVED BY STORMTRAP. ALL OPENINGS MUST RETAIN AT LEAST 2'-0" OF CLEARANCE FROM THE END OF THE STORMTRAP MODULE UNLESS NOTED OTHERWISE. ALL ACCESS OPENINGS TO BE LOCATED ON INSIDE LEG UNLESS OTHERWISE SPECIFIED. SEE SHEET 2.0 FOR SIZES AND LOCATIONS.
- UNLESS OTHERWISE SPECIFIED, PLASTIC COATED STEEL STEPS PRODUCED BY M.A. INDUSTRIES PART #PS3-PFC OR APPROVED EQUAL (SEE STEP DETAIL) ARE PROVIDED INSIDE ANY MODULE WHERE DEEMED NECESSARY. THE HIGHEST STEP IN THE MODULE IS TO BE PLACED A DISTANCE OF 1'-0" FROM THE INSIDE EDGE OF THE STORMTRAP MODULES. ALL ENSURING STEPS SHALL BE PLACED AT A DISTANCE BETWEEN 10" MIN AND 14" MAX BETWEEN THEM. STEPS MAY BE MOVED OR ALTERED TO AVOID OPENINGS OR OTHER IRREGULARITIES IN THE MODULE.
- STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO AVOID INTERFERENCE WITH ACCESS OPENINGS OR THE CENTER OF GRAVITY OF THE MODULE AS NEEDED.
- STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS SO PLACEMENT OF STEPS IS ATTAINABLE.
- ACCESS OPENINGS SHOULD BE LOCATED IN ORDER TO MEET THE APPROPRIATE MUNICIPAL REQUIREMENTS. STORMTRAP RECOMMENDS AT LEAST TWO ACCESS OPENINGS PER SYSTEM FOR ACCESS AND INSPECTION.
- USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET GRADE. STORMTRAP RECOMMENDS FOR COVER OVER 2' TO USE PRECAST BARREL OR CONE SECTIONS. (PROVIDED BY OTHERS)



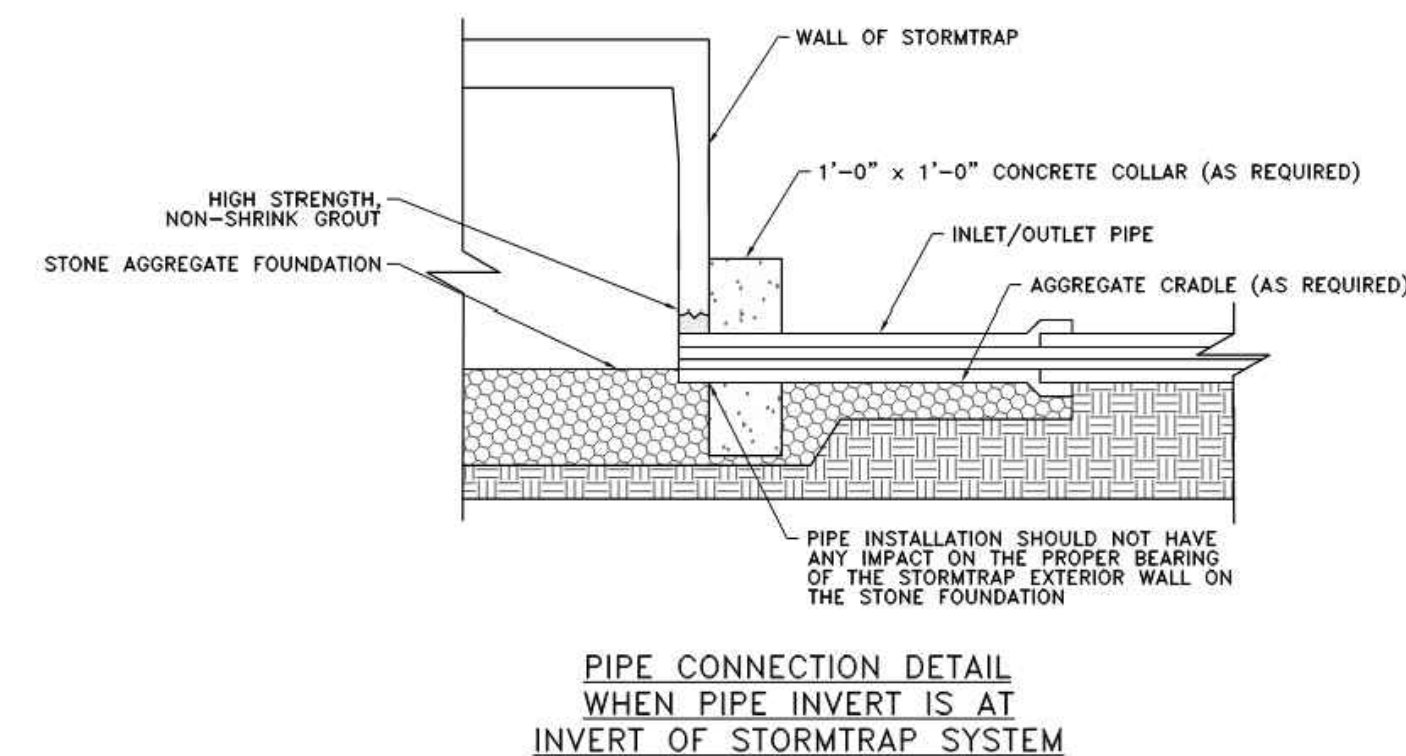
PIPE OPENING SPECIFICATION

- MINIMUM EDGE DISTANCE FOR AN OPENING ON THE OUTSIDE WALL SHALL BE NO LESS THAN 1'-0".
- CONNECTING PIPES MAY BE INSTALLED WITH A 1'-0" CONCRETE COLLAR (AS REQUIRED) AND AN AGGREGATE CRADLE (AS REQUIRED) FOR AT LEAST ONE PIPE LENGTH (SEE PIPE CONNECTION DETAIL). A STRUCTURAL GRADE CONCRETE OR HIGH STRENGTH NON-SHRINK GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI MAY BE USED.
- THE ANNULAR SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH HIGH STRENGTH NON-SHRINK GROUT.

PIPE INSTALLATION INSTRUCTIONS

- CLEAN AND LIGHTLY LUBRICATE ALL OF THE PIPE TO BE INSERTED INTO STORMTRAP.
- IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
- ALIGN CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.

NOTE: ALL ANCILLARY PRODUCTS/SPECIFICATIONS RECOMMENDED AND SHOWN ON THIS SHEET INCLUDING BUT NOT LIMITED TO CONCRETE COLLARS, AGGREGATE CRADLES, GRADE RINGS, RISER SECTIONS, ETC., ARE RECOMMENDATIONS ONLY AND SUBJECT TO CHANGE PER THE INSTALLING CONTRACTOR AND/OR PER LOCAL MUNICIPAL CODE/REQUIREMENTS.



PIPE/ACCESS OPENING SPECIFICATION

NOT TO SCALE

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07/03/24

NOT TO SCALE

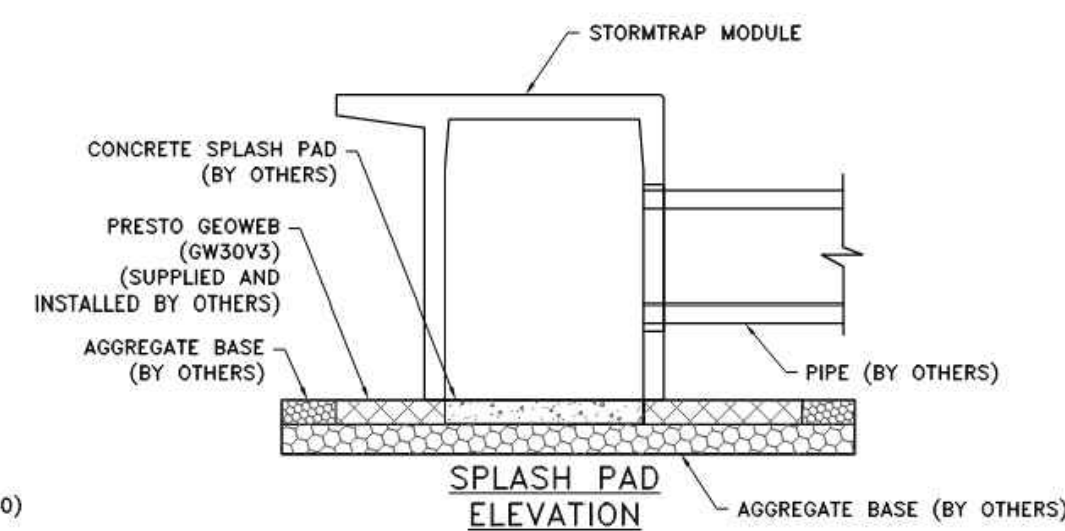
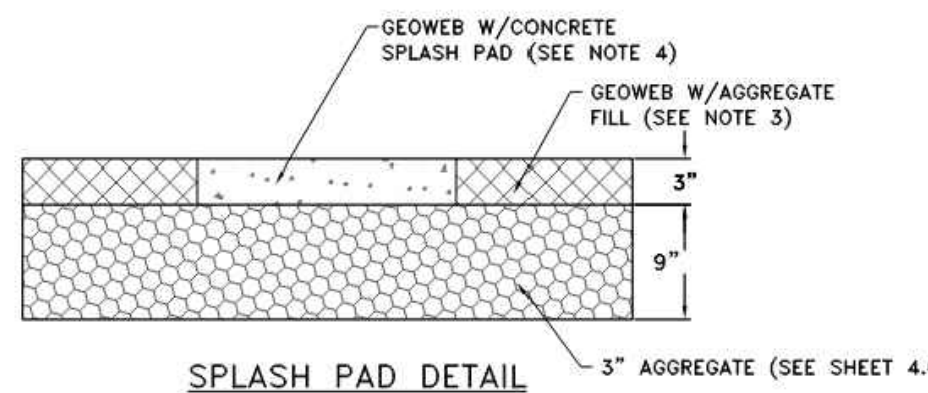
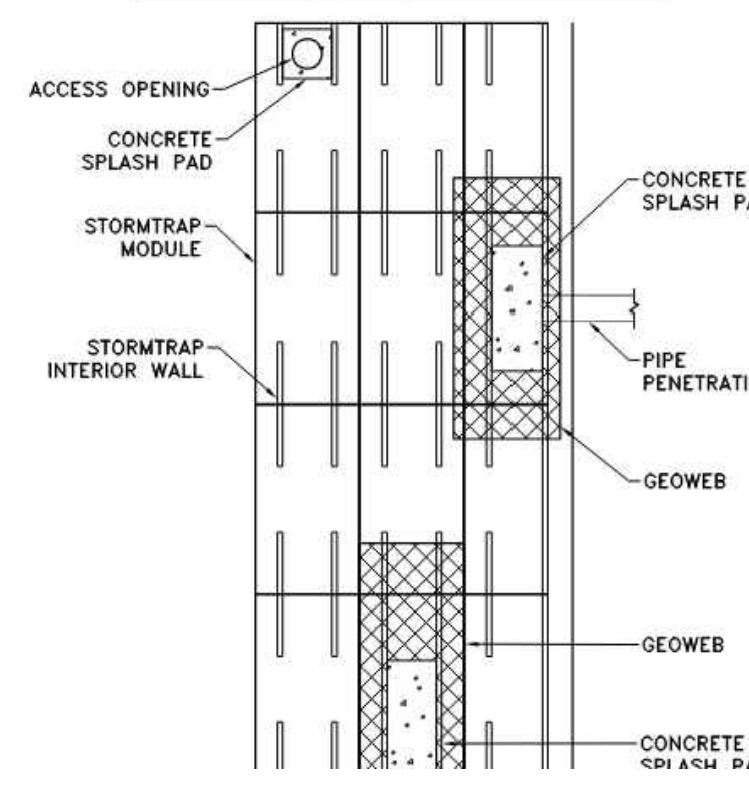
GNRL-DTLS-STND-GRID

07/03/24

GEOWEB AND SPLASH PAD INSTALLATION SPECIFICATION

- THE APPROVED GEOWEB SHALL BE PRESTO GEOWEB (GW30V3). THE GEOWEB NOMINAL DIMENSIONS SHALL BE 9'-FT X 25'-FT.
- THE CONCRETE SPLASH PAD AND GEOWEB SHALL BE INSTALLED PRIOR TO INSTALLATION OF THE STORMTRAP MODULES.
- THE GEOWEB INFILL MATERIAL SHALL BE #5 AGGREGATE.
- THE CONCRETE SPLASH PAD SHALL BE INSTALLED WITHIN THE GEOWEB AND IS REQUIRED AT ALL PIPE ENTRY LOCATIONS.
- THE GEOWEB EDGE SHALL BE INSTALLED 1'-FT BEYOND THE OUTER PERIMETER OF THE STORMTRAP SYSTEM.
- THE GEOWEB LONGITUDINAL DIMENSION (25'-FT) SHALL BE INSTALLED PARALLEL TO THE STORMTRAP LEGS.
- THE CONCRETE SPLASH PAD AND GEOWEB SHALL BE CENTERED AT THE PIPE PENETRATION.
- REFER TO SPLASH PAD LAYOUT FOR CONCRETE SPLASH PAD DIMENSIONS.
- IF ANY PRODUCT OTHER THAN PRESTO GEOWEB IS TO BE INSTALLED, THE PRODUCT MANUFACTURER IS REQUIRED TO SUBMIT A LETTER STATING THAT THE PRODUCT IS EQUAL OR BETTER THAN PRESTO GEOWEB, BOTH IN PERFORMANCE AND IN STRUCTURAL CAPACITY.
- ALL GEOWEB AND SPLASH PADS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR.
- A CONCRETE SPLASH PAD IS REQUIRED AT ANY ACCESS OPENING THAT HAS AN OPEN GRATE FOR DRAINAGE. THE CONCRETE SPLASH PAD SHALL EXTEND BETWEEN THE UNIT LEG WALLS AND 3'-0" FROM THE CENTERLINE OF THE OPENING ON BOTH SIDES UNLESS SPECIFIED OTHERWISE ON THE SPLASH PAD LAYOUT. GEOWEB IS NOT REQUIRED UNDER ACCESS OPENINGS.

SPLASH PAD CONFIGURATION



SPLASH PAD & GEOWEB DETAILS

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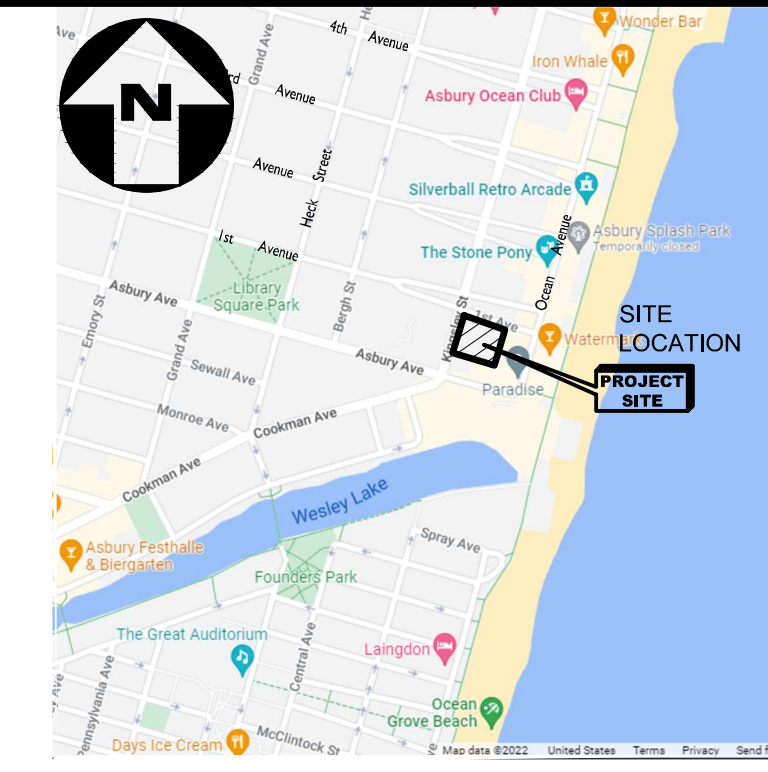
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3	12/02/22	TL	TL	02/10/24	TL
4	02/10/24	TL	TL	7/3/24	TL
5	7/3/24	TL	TL	8/6/24	TL
6	8/6/24	TL	TL		

Robert J. Curley
NEW JERSEY LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: GE34705
COLLIERS ENGINEERING & DESIGN, INC.
NJ C.O.A. #: 2462-7398550

PRELIMINARY AND FINAL MAJOR SITE PLAN FOR ASBURY PARTNERS LLC
1089 OCEAN AVENUE
ASBURY PARK, NJ
BLOCK 3904, LOT 1
110 FIRST AVENUE
TAXMAP SHEET 39
DATED 12/2015
CITY OF ASBURY PARK
MONMOUTH COUNTY
NEW JERSEY

Colliers
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SCALE: AS SHOWN DATE: 6/6/22 DRAWN BY: PCS / PJC CHECKED BY: RJC
PROJECT NUMBER: 13000604AE DRAWING NUMBER: C-DTLS
SHEET TITLE: CONSTRUCTION DETAILS
SHEET NUMBER: 10 of 10

MINOR SUBDIVISION PLAN FOR ASBURY PARTNERS, LLC BLOCK 3904, LOT 1 CITY OF ASBURY PARK MONMOUTH COUNTY, NEW JERSEY



LOCATION MAP
SCALE: 1"=1,000'

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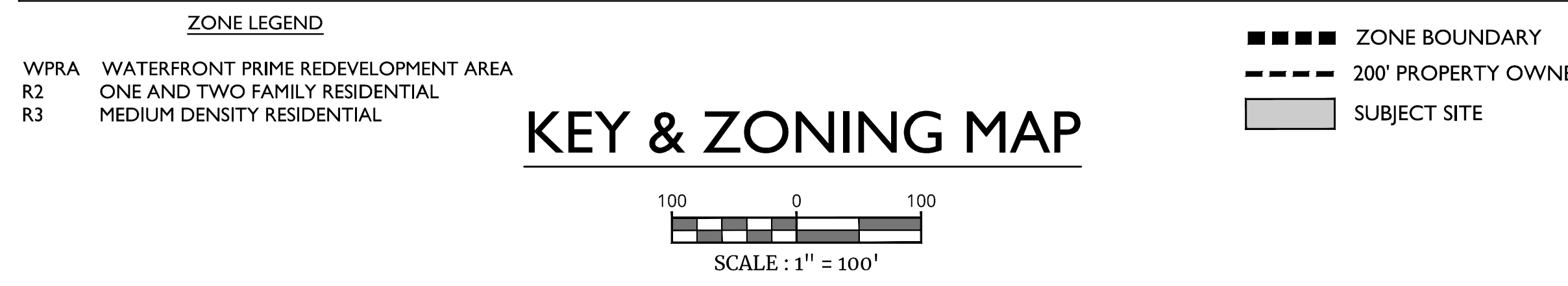
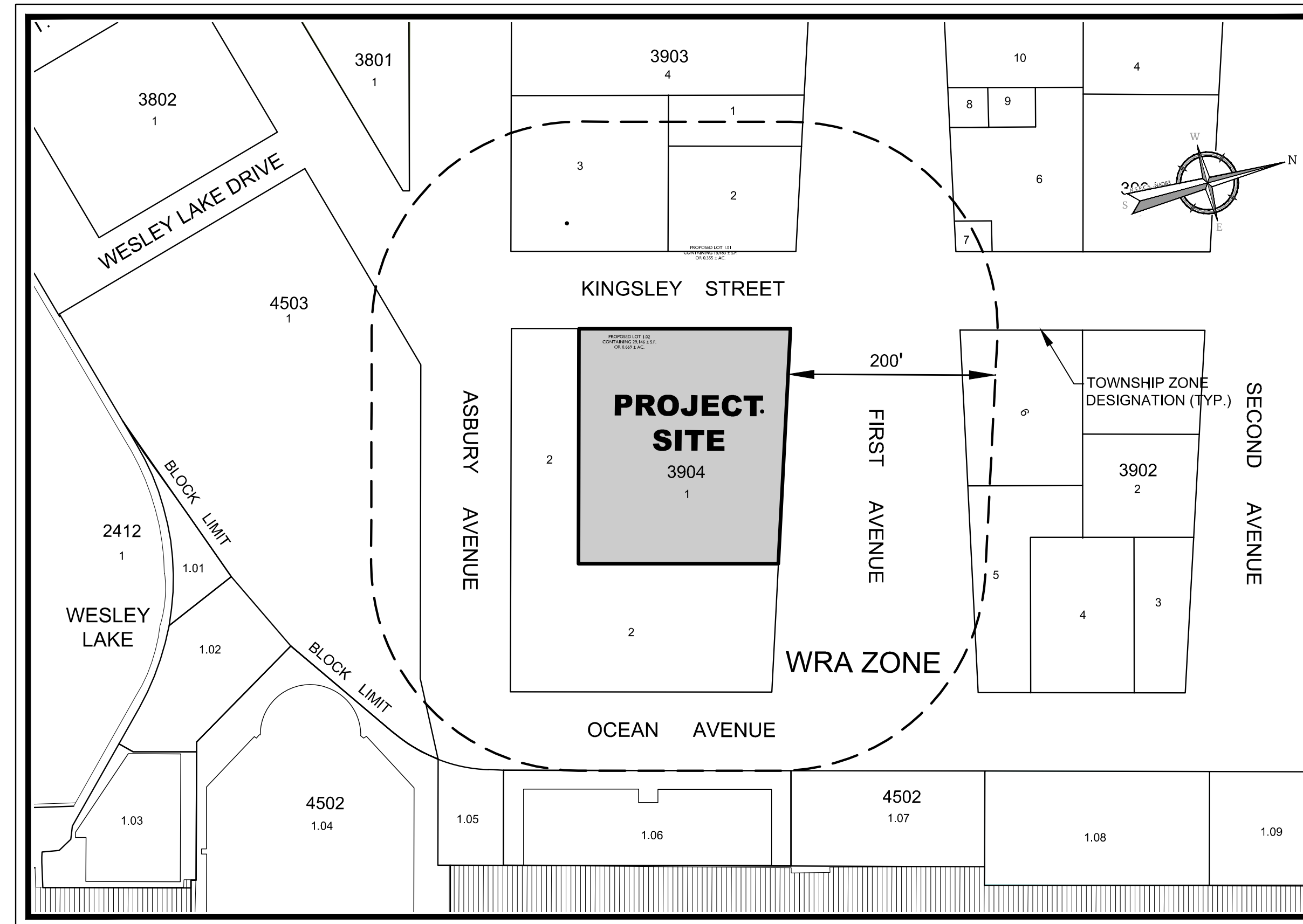
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FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

UTILITIES/AUTHORITIES

OTHER AGENCIES TO BE NOTIFIED ON 200' CERTIFIED LISTS:

- FOR RAILROAD:** RUDY GUEROS, DIRECTOR
PROPERTY MANAGEMENT
NEW JERSEY TRANSIT CORPORATION
ONE PENN PLAZA EAST, 7TH FLOOR
NEWARK, NJ 07105-2246
- COUNTY ROADS:** ROBERT W. CLARK, DIRECTOR
MONMOUTH COUNTY PLANNING BOARD
HALL OF RECORDS ANNEX
MAIN STREET
FREEHOLD, NJ 07728
- STATE HIGHWAY:** THOMAS DOWD, REGIONAL ENGINEER NJ DOT
CENTRAL REGION PERMITS
100 DANIELS WAY
FREEHOLD, NJ 07728
- WATERSHEDS:** STATE OF NEW JERSEY
DEPT OF ENVIRONMENTAL PROTECTION
LAND USE MANAGEMENT & COMPLIANCE
PO BOX 439
TRENTON, NJ 08625-0439
- RICHARD S. COHEN, SECRETARY & CORPORATE COUNSEL**
JERSEY CENTRAL POWER AND LIGHT COMPANY
300 MADISON AVENUE
MORRISTOWN, NJ 07962-1911
- OLETA HARDEN, SR., VICE PRESIDENT AND SECRETARY**
NEW JERSEY NATURAL GAS COMPANY
1514 WYCKOFF ROAD
PO BOX 1464
WALL, NJ 07719
- NEW JERSEY AMERICAN WATER COMPANY, INC.**
C/O GENERAL TAX DEPT.
PO BOX 5627
CHERRY HILL, NJ 08034
- CABLEVISION**
ENGINEERING DEPARTMENT
1501 19TH AVENUE
WALL, NJ 07719
- ASBURY PARK ENGINEERING**
PUBLIC WORKS & SEWER DEPT.
9 MAIN STREET
ASBURY PARK, NJ 07712



GENERAL NOTES

- PROJECT SITE KNOWN AND DESIGNATED AS LOT 1, BLOCK 3904, AS SHOWN ON THE CURRENT TAX ASSESSMENT MAP OF THE CITY OF ASBURY PARK, MONMOUTH COUNTY, NEW JERSEY (SHEET 39).
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN ENTITLED "ATLANSIPS LAND TITLE SURVEY FOR ASBURY PARTNERS, LLC, BLOCK 3904, LOT 1, CITY OF ASBURY PARK, MONMOUTH COUNTY, NEW JERSEY" DATED 12/17/21, AND REVISED THROUGH 12/22/21, PREPARED BY COLLIER'S ENGINEERING & DESIGN.
- A PLAN ENTITLED "PRELIMINARY/FINAL MAJOR SITE PLAN FOR ASBURY PARTNERS LLC, BLOCK 3904, LOTS 1, TAX MAP SHEET 43, CITY OF ASBURY PARK, MONMOUTH COUNTY, NEW JERSEY" DATED 7/28/23 AND LAST REVISED 8/5/24, PREPARED BY COLLIER'S ENGINEERING & DESIGN.
- HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88
- OWNER/APPLICANT:
ASBURY PARTNERS, LLC
1089 OCEAN AVENUE, 3RD FLOOR
ASBURY PARK, NJ 07712
- ZONE DATA: WATERFRONT REDEVELOPMENT AREA (WVRA) (PER MAP REF. 3.)

PROPOSED 54 RESIDENTIAL DWELLING WITH 333 PARKING STALLS				
ZONE DISTRICT: WVRA	REQUIRED	EXISTING	PROPOSED LOT 1.01	PROPOSED LOT 1.02
MINIMUM LOT AREA	15,000 SF	44,629 SF	15,483 SF	29,146 SF
MAXIMUM DENSITY	N/A			
MAXIMUM FAR				
MINIMUM LOT WIDTH	N/A			
MINIMUM LOT FRONTAGE	100 FT	203.42 FT	181.41 FT	*5.08 FT; 44.90 FT
MINIMUM LOT DEPTH	N/A			
PRINCIPAL BUILDING				
MINIMUM FRONT YARD SETBACK	N/A			
MINIMUM SIDE YARD SETBACK	N/A			
MINIMUM COMBINED SIDE YARD SETBACK	N/A			
MAXIMUM PERCENT BUILDING COVER	N/A	93.8%		
MAXIMUM PERCENT LOT COVER	N/A			
MAXIMUM NUMBER OF STORIES	8	5.5		
MAXIMUM BUILDING HEIGHT	N/A	61'-4"		
MINIMUM IMPROVABLE LOT AREA	N/A			
OFF-STREET PARKING SPACES	68	81 RES & 252 PUBLIC		
LOADING SPACES	N/A			
SIGNS	N/A			
FREE STANDING SIGN NUMBER	N/A			
FREE STANDING SIGN AREA(S)	N/A			
ATTACHED SIGN NUMBER	N/A			
ATTACHED SIGN AREA (S)	N/A			
EXISTING USE OR USES: TEMPORARY PARKING				
PROPOSED USE OR USES: RESIDENTIAL & PARKING				
EXISTING FLOOR AREA: N/A				
PROPOSED FLOOR AREA: 86,342 RESIDENTIAL; 167,236 GARAGE				

* VARIANCE REQUIRED PROPOSED LOT 1.02

- SUBJECT PROPERTY LIES WITHIN ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD); THE 1% ANNUAL FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. (ZONE X (OTHER FLOOD AREAS) AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD AND ZONE X (OTHER AREAS) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, FLOOD INSURANCE RATE MAP FOR MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS), ON PANELS 332 AND 334 OF 457, MAP NUMBERS 34025(03)F AND 34025(33)F, EFFECTIVE DATE OF SEPTEMBER 25, 2009, PREPARED BY THE FEDERAL MANAGEMENT AGENCY FOR 100 YEAR FLOOD PLAIN ELEVATION.
- PROPOSED LOT & BLOCK NUMBERS HAVE NOT BEEN ASSIGNED BY THE TAX ASSESSOR.

INDEX OF SHEETS

SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	
2	SUBDIVISION PLAN	

AS OWNER/APPLICANT OF BLOCK 3904, LOT 1, I/WE HEREBY CONSENT TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE, MONMOUTH COUNTY, NEW JERSEY.

ASBURY PARTNERS, LLC _____ DATE _____

SWORN AND SUBSCRIBED BEFORE ME THIS ____ DAY OF _____, 2024

NOTARY PUBLIC _____ DATE _____

MY COMMISSION EXPIRES ON _____ DATE _____

I HAVE CAREFULLY EXAMINED THIS MAP AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW", RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

CITY ENGINEER _____ DATE _____

THIS IS TO CERTIFY THAT THE PLANNING BOARD IS THE PROPER AUTHORITY TO APPROVE AND HAS APPROVED THIS MAP. THIS MAP SHALL BE FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE THE _____ DAY OF _____, 2024, WHICH IS ONE HUNDRED AND NINETY (190) DAYS FROM THE DATE OF APPROVAL FOR A MINOR OR NINETY-FIVE (95) DAYS FROM THE SIGNATURE OF THIS MAP FOR A FINAL.

PLANNING BOARD SECRETARY _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE CITY OF ASBURY PARK ON _____ DATE _____

BOARD CHAIRWOMAN _____ DATE _____

BOARD SECRETARY _____ DATE _____

BOARD ENGINEER _____ DATE _____

FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE

AS CASE NO. _____

MINOR SUBDIVISION

FOR
ASBURY PARTNERS,
LLC

BLOCK 3904, LOT 1
TAX MAP SHEET 39
DATED 12/2015

CITY OF ASBURY PARK
MONMOUTH COUNTY
NEW JERSEY

Colliers
Engineering
& Design
HOLMDEL (Headquarters)
101 Crawford's Corner Road,
Suite 3400
Holmdel, NJ 07733
Phone: 732.383.1950
COLLIERS ENGINEERING & DESIGN, INC. DOING
BUSINESS AS MASER CONSULTING

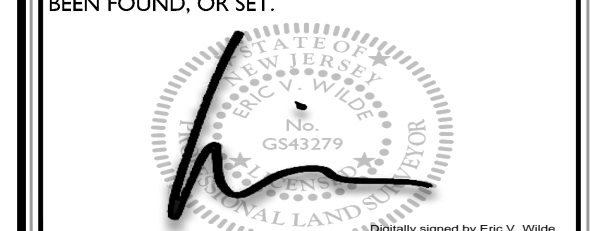
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AS SHOWN	10/30/23	RT	MRM
PROJECT NUMBER:	DRAWING NAME:		
13000664AE	V-SUBD		

SUBDIVISION PLAN

SHEET NUMBER:
1 of 2

Table with columns: REV, DATE, DRAWN BY, DESCRIPTION

CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 12/17/21, LAST REVISED 12/22/21 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION AND COMPIES WITH THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND, OR SET.



Eric V. Wilde
NEW JERSEY LICENSED PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER: G543279
COLLIERS ENGINEERING & DESIGN, INC.
N.J. C.O.A. #: 24GA27986500

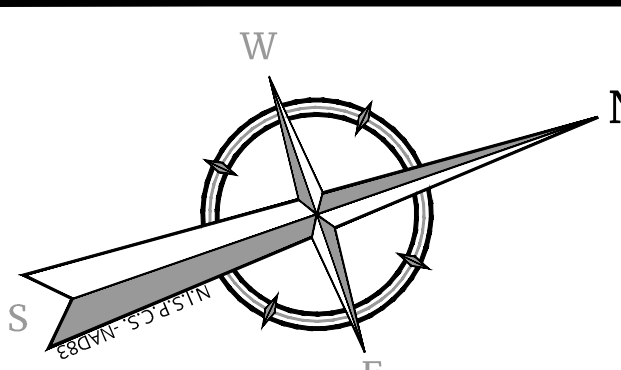
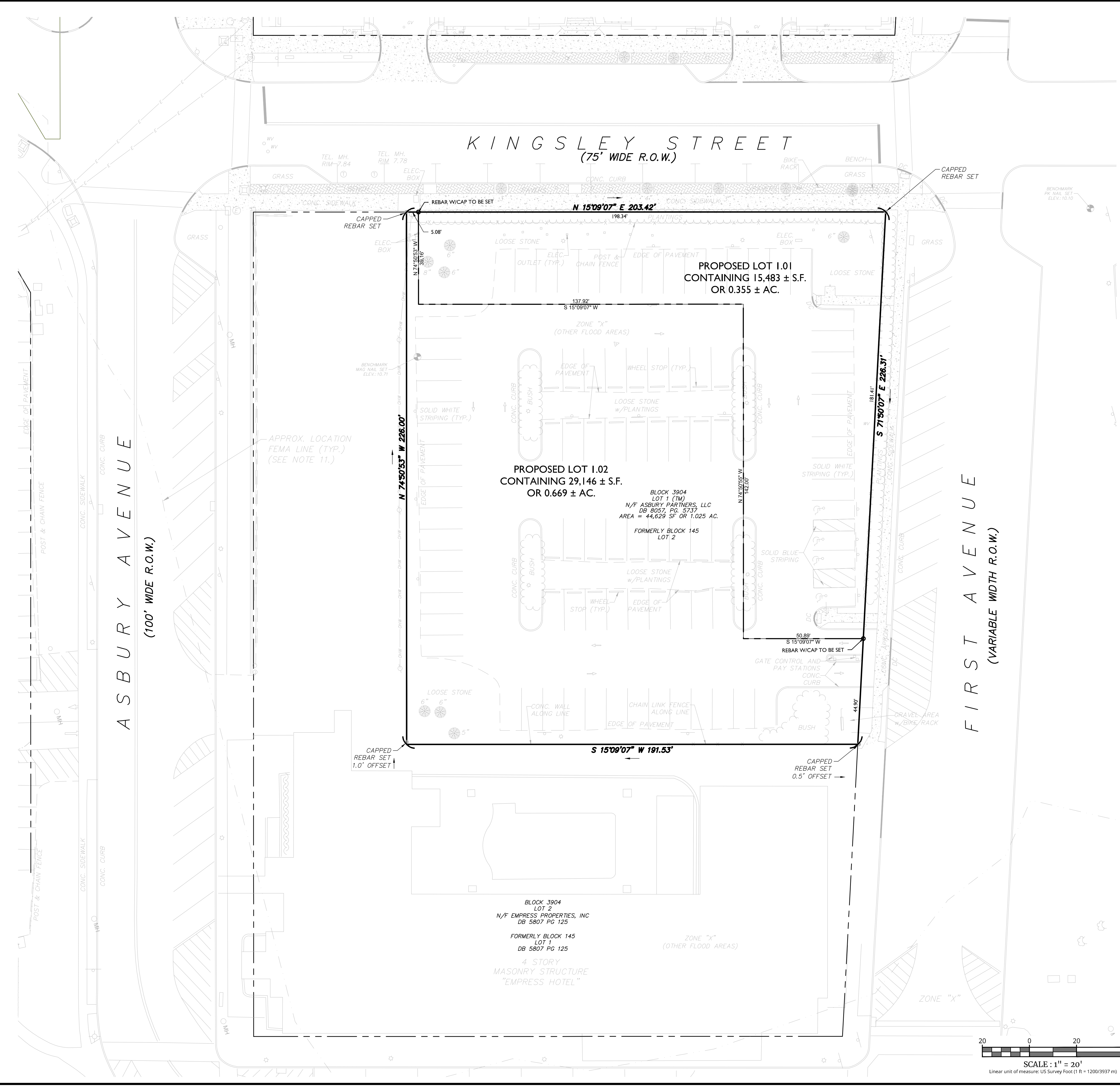
MINOR SUBDIVISION
FOR
ASBURY PARTNERS,
LLC

BLOCK 4306, LOT 1-8TAX
MAP SHEET 39
DATED 12/2015
CITY OF ASBURY PARK
MONMOUTH COUNTY
NEW JERSEY

Colliers Engineering & Design
HOLMDEL (Headquarters)
101 Crawford Corner Road, Suite 3400
Holmdel, NJ 07733
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Table with columns: SCALE, DATE, DRAWN BY, CHECKED BY, PROJECT NUMBER, DRAWING NAME

SUBDIVISION PLAN
SHEET NUMBER: 2 of 2



LEGEND

- TRaverse LINE, CENTER LINE OR BASELINE
RIGHT OF WAY LINE
PROPERTY LINE
EDGE OF PAVEMENT
CURB LINE
DEPRESSED CURB
CHAIN FENCE
WETLAND LINE
MUNICIPAL BOUNDARY
TREELINE
ELECTRICAL MANHOLE
WATER MANHOLE
TELEPHONE MANHOLE
UNMARKED MANHOLE
SANITARY MANHOLE
DRAINAGE MANHOLE
MAJOR CONTOUR
MINOR CONTOUR
SPOT ELEVATION
TOP OF CURB ELEV.
BOTTOM OF CURB ELEV.
U/G CABLE TV LINE
U/G FIBER OPTIC LINE
U/G TELEPHONE LINE
U/G ELECTRIC LINE
OVERHEAD WIRE
WATER MAIN
GAS MAIN
SAN. SEWER LATERAL
SAN. SEWER MAIN
STORM PIPE
WETLAND MARKER
TREE
ROADWAY SIGNS
TRAFFIC FLOW
MAILBOX
TRAFFIC SIGNAL POLE
POLE MOUNTED LIGHT
UTILITY POLE
GUY WIRE
TRANSFORMER
FIRE DEPT. CONNECTION
FIRE HYDRANT
WATER VALVE
GAS VALVE
SANITARY CLEANOUT
CONCRETE MONUMENT
CAPPED REBAR/IRON PIPE
STORM INLET TYPE 'A'
STORM INLET TYPE 'B'
STM. DBL. INLET TYPE 'B'
STORM INLET TYPE 'C'
STM. DBL. INLET TYPE 'E'
FLARED END SECTION
HEADWALL

ABBREVIATIONS

- D.C. = DEPRESSED CURB
BC = BOTTOM OF CURB
TC = TOP OF CURB
BOL = BOLLARD
GRT = GRATE
MB = MAILBOX
FF = FINISH FLOOR
UV = UNKNOWN VALVE
MH = MANHOLE
DEP. = DEPRESSED
CL = CENTERLINE
PM = PARKING METER
MHWL = MEAN HIGH WATERLINE
MLWL = MEAN LOW WATERLINE
TW = TOP OF WALL
BW = BOTTOM WALL

AS OWNER/APPLICANT OF BLOCK 3904, LOT 1, I/WE HEREBY CONSENT TO THE FILING OF THIS MAP IN THE MONMOUTH COUNTY CLERK'S OFFICE, MONMOUTH COUNTY, NEW JERSEY.

ASBURY PARTNERS, LLC
1089 OCEAN AVENUE, 3RD FLOOR
ASBURY PARK, NJ 07712

SWORN AND SUBSCRIBED BEFORE ME THIS ___ DAY OF _____ 2024

NOTARY PUBLIC _____ DATE _____

MY COMMISSION EXPIRES ON _____

I HAVE CAREFULLY EXAMINED THIS MAP AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, FIND IT CONFORMS WITH THE PROVISIONS OF THE "MAP FILING LAW", RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

CITY ENGINEER _____ DATE _____

THIS IS TO CERTIFY THAT THE PLANNING BOARD IS THE PROPER AUTHORITY TO APPROVE, AND HAS APPROVED THIS MAP. THIS MAP SHALL BE FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE THE ___ DAY OF _____ 2024, WHICH IS ONE HUNDRED AND NINETY (190) DAYS FROM THE DATE OF APPROVAL FOR A MINOR OR NINETY-FIVE (95) DAYS FROM THE SIGNATURE OF THIS MAP FOR A FINAL.

PLANNING BOARD SECRETARY _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE CITY OF ASBURY PARK ON _____ DATE _____

BOARD CHAIRMAN _____ DATE _____

BOARD SECRETARY _____ DATE _____

BOARD ENGINEER _____ DATE _____

FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE

AS CASE NO. _____

202312300604081004_3904SUBD.dwg 03/08/2024

BLOCK 3904

CITY OF ASBURY PARK
BLOCK 3904, LOT 1
MONMOUTH COUNTY
NEW JERSEY 07712

DRAWING LIST

A-1	BUILDING INFORMATION/ OVERALL PLANS
A-2	1ST FLOOR PLAN
A-3	2ND / 3RD FLOOR PLAN
A-4	4TH / 5TH FLOOR PLAN
A-5	ROOF PLAN / TYP. UNIT PLANS
A-6	BUILDING ELEVATIONS
A-7	BUILDING ELEVATIONS
A-8	BUILDING SECTIONS
A-9	SIGNAGE & RAILING DETAILS
A-10	MATERIAL BOARD
A-11	RENDERINGS

MVMK

Minervini Vandermark Melia Kelly



BUILDING INFORMATION

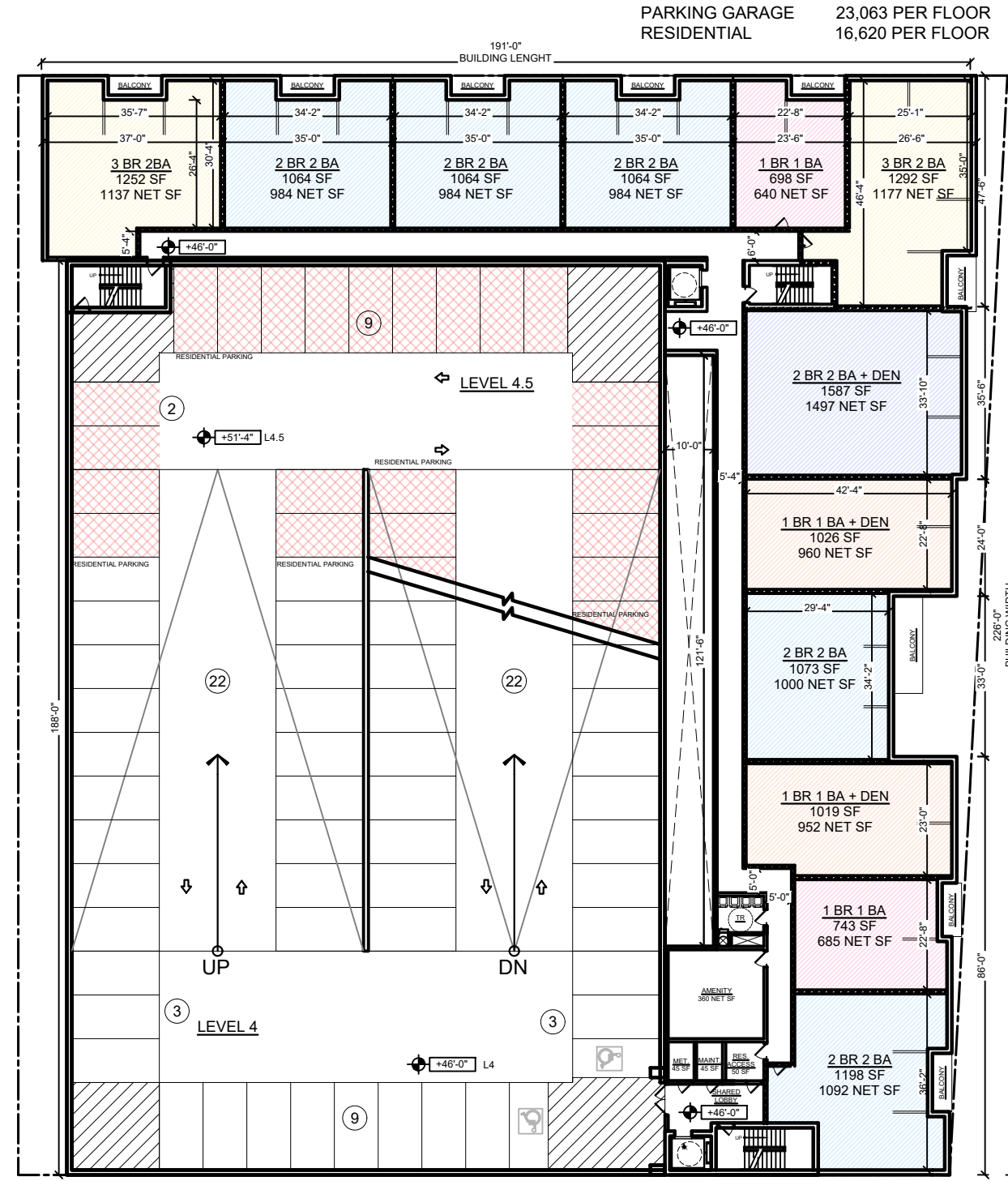
FLOOR	TOTAL GSF	AMENITY NSF	RESIDENTIAL NSF	RESIDENTIAL GSF	PARKING GSF	PARKING SPACES	1 BED (640-744 SF)	1 BED + DEN (952-965 SF)	2 BED (942-1,257 SF)	2 BED + DEN (1,497 SF)	3 BED (1,092 - 1,177 SF)	UNITS PER FLOOR
ROOF	3,338	2,250										
5TH	39,683	360	11,471	16,620	17,134	48	4		6		2	12
4TH	39,683	360	12,102	16,620	23,124	70	2	2	5	1	2	12
3RD	39,683	360	11,471	16,620	23,124	70	4		6		2	12
2ND	39,683	360	12,102	16,620	23,124	70	2	2	5	1	2	12
1ST	38,827	1,061	5,746	13,628	25,746	70	1		4		1	6
TOTAL	200,897	4,751	52,892	80,108	117,449	328	13	4	26	2	9	54

BUILDING / SITE CHARACTERISTICS:

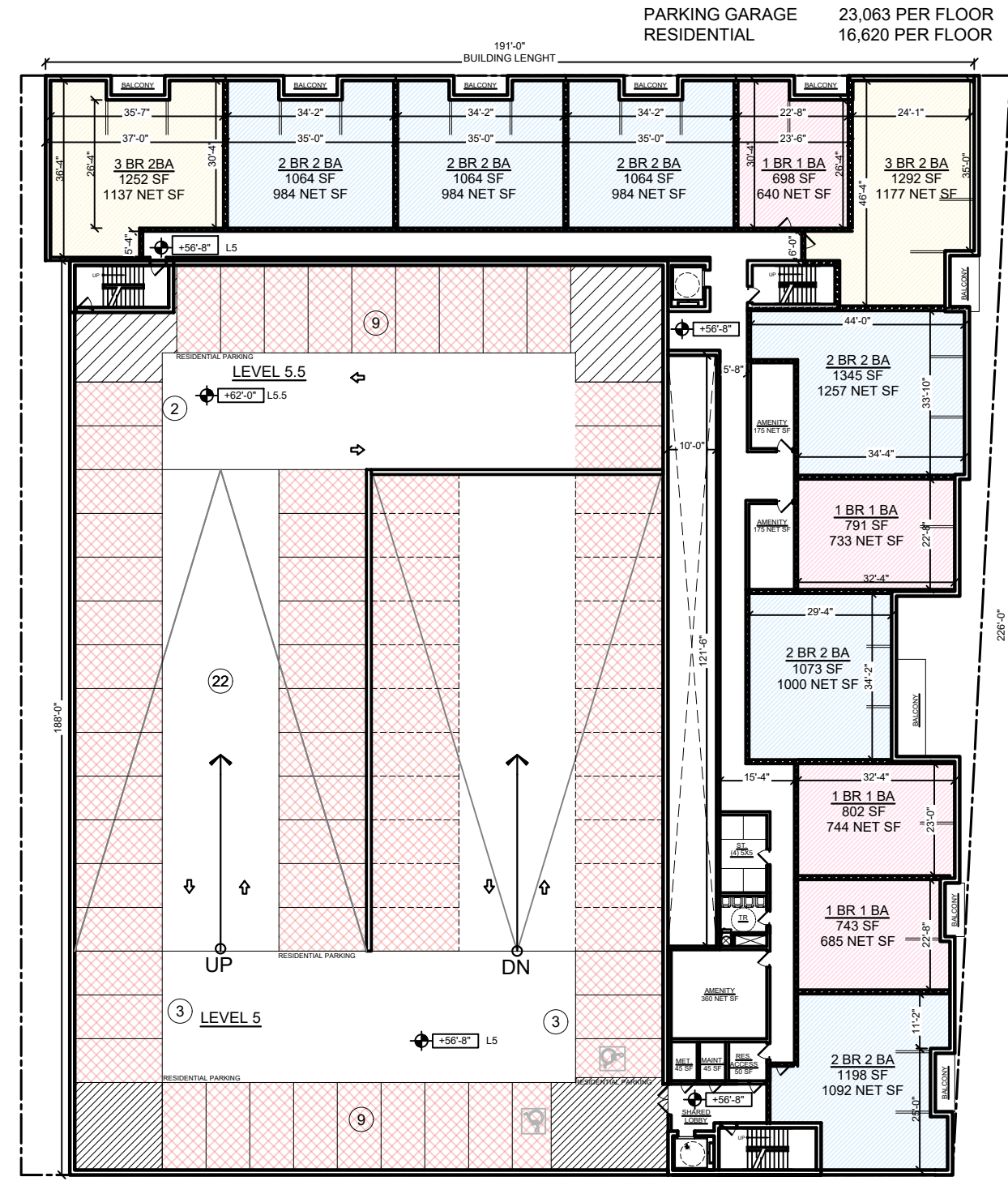
- | | |
|--------------------------------|---|
| 1. NUMBER OF STORIES - | 5 STORIES |
| 2. HEIGHT OF STRUCTURE - | 59 FT. 5 IN. |
| 3. AREA - LARGEST FLOOR - | 39,683 SQ. FT. |
| 4. TOTAL LAND AREA DISTURBED - | 40,174 SQ. FT. |
| 5. BUILDING UNIT COUNT - | 54 UNITS |
| 6. SITE AREA - | 44,629 SQ. FT. |
| 7. CAR PARKING COUNT - | 81 RESIDENTIAL
247 PUBLIC
(328 TOTAL) |
| 8. BIKE PARKING COUNT - | 54 BIKES |

SEAL

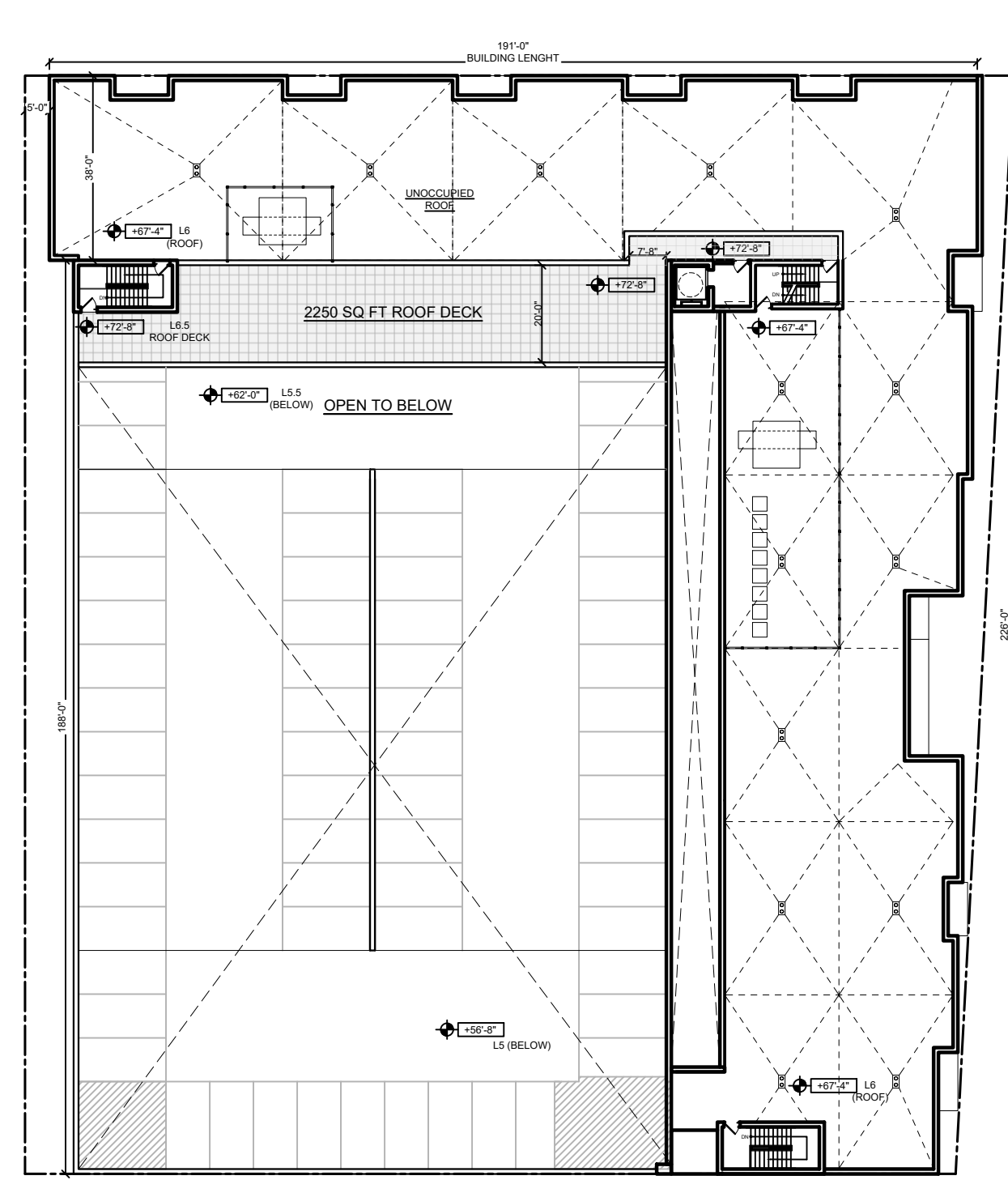
Frank J. Minervini, AIA
 NJ License # 12576
 NY License # 03 0297 63
 Anthony C. Vandermark, Jr. AIA
 NJ License # 17698
 NY License # 32710-1
 Adrian Melia, AIA
 NJ License # 18738
 Claran Kelly, AIA
 NJ License # 18866



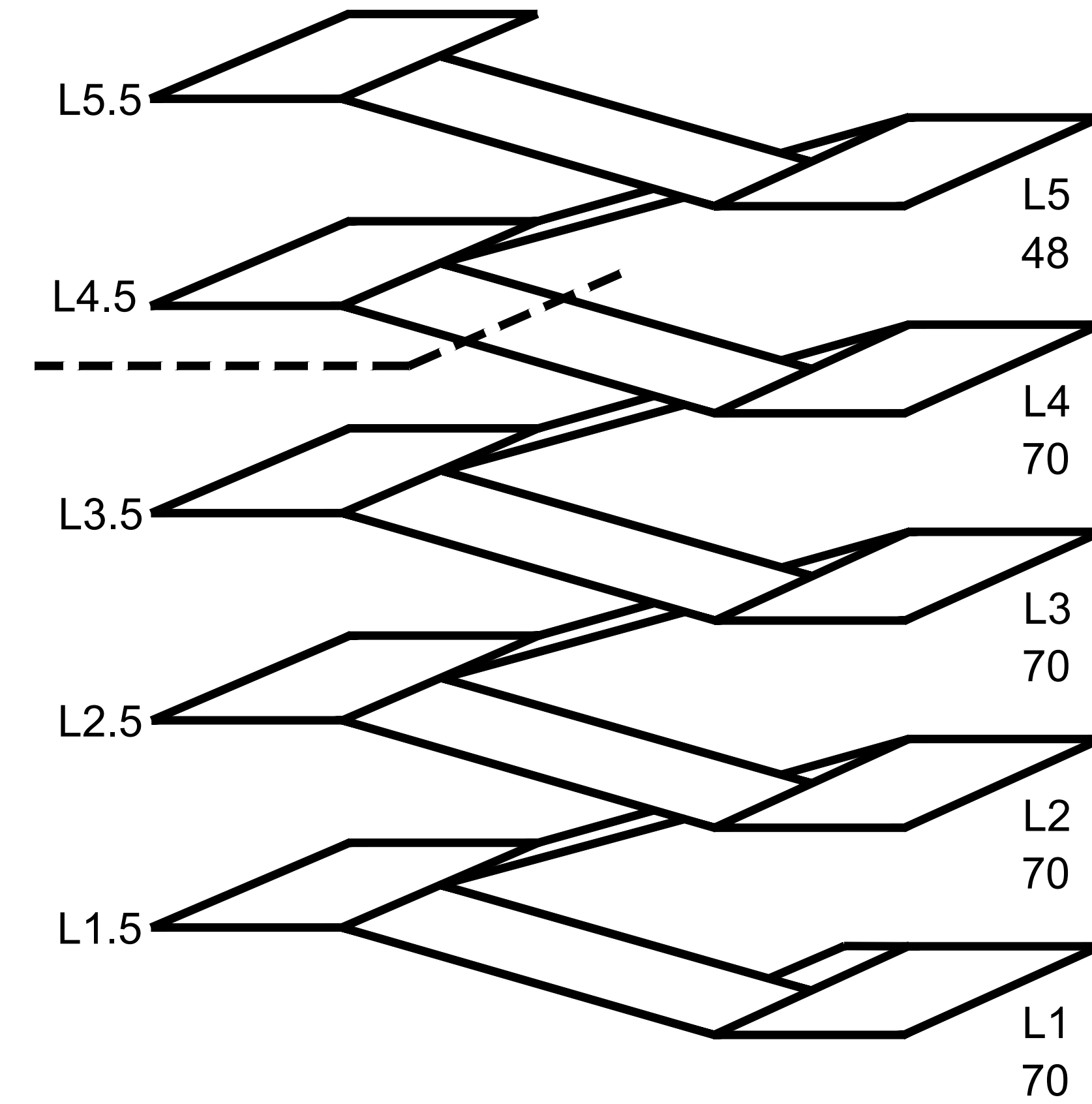
4 FLOOR 4
SCALE: 1/32" = 1'-0"



5 FLOOR 5
SCALE: 1/32" = 1'-0"



6 ROOF PLAN
SCALE: 1/32" = 1'-0"

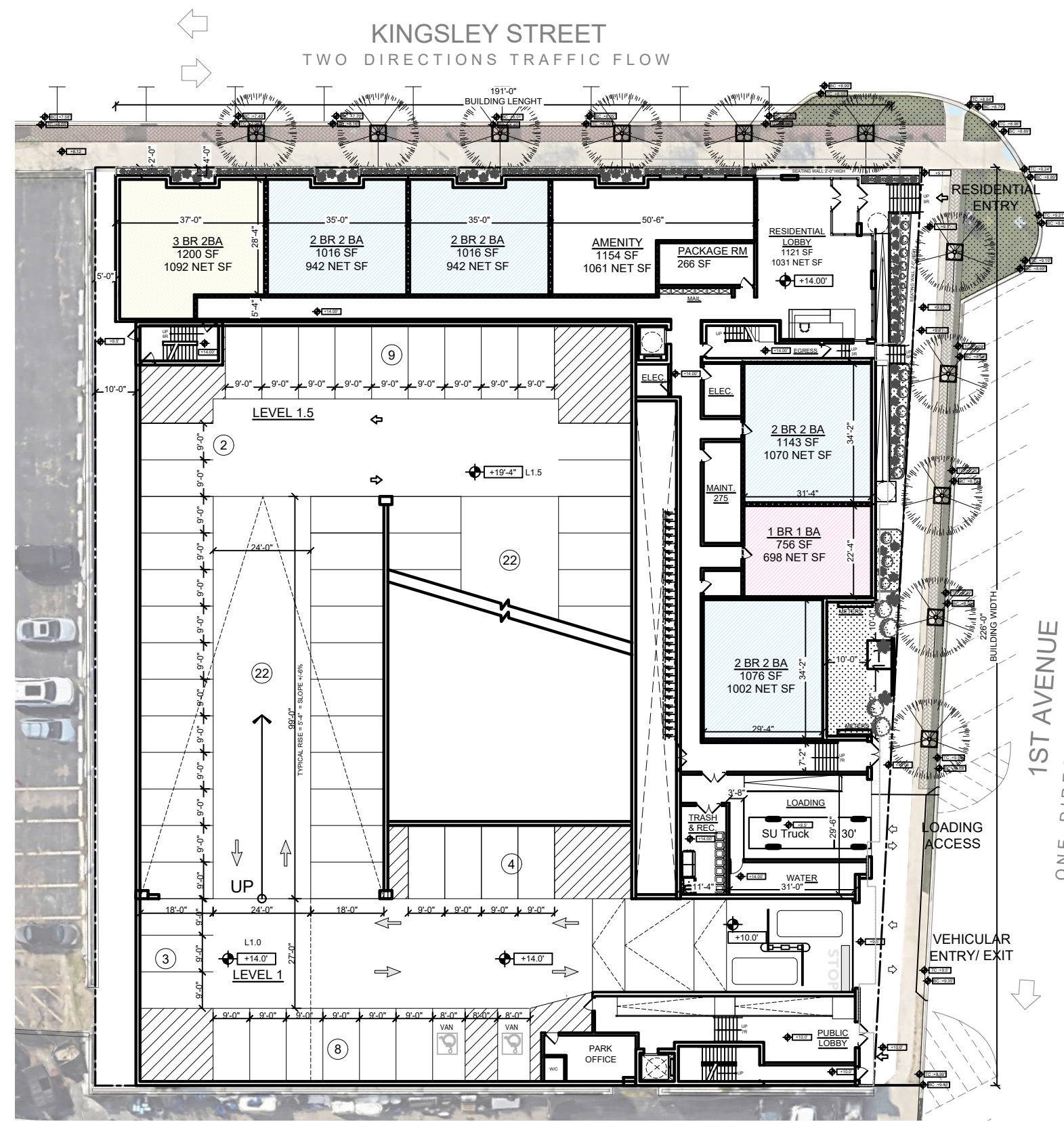


PARKING BREAKDOWN

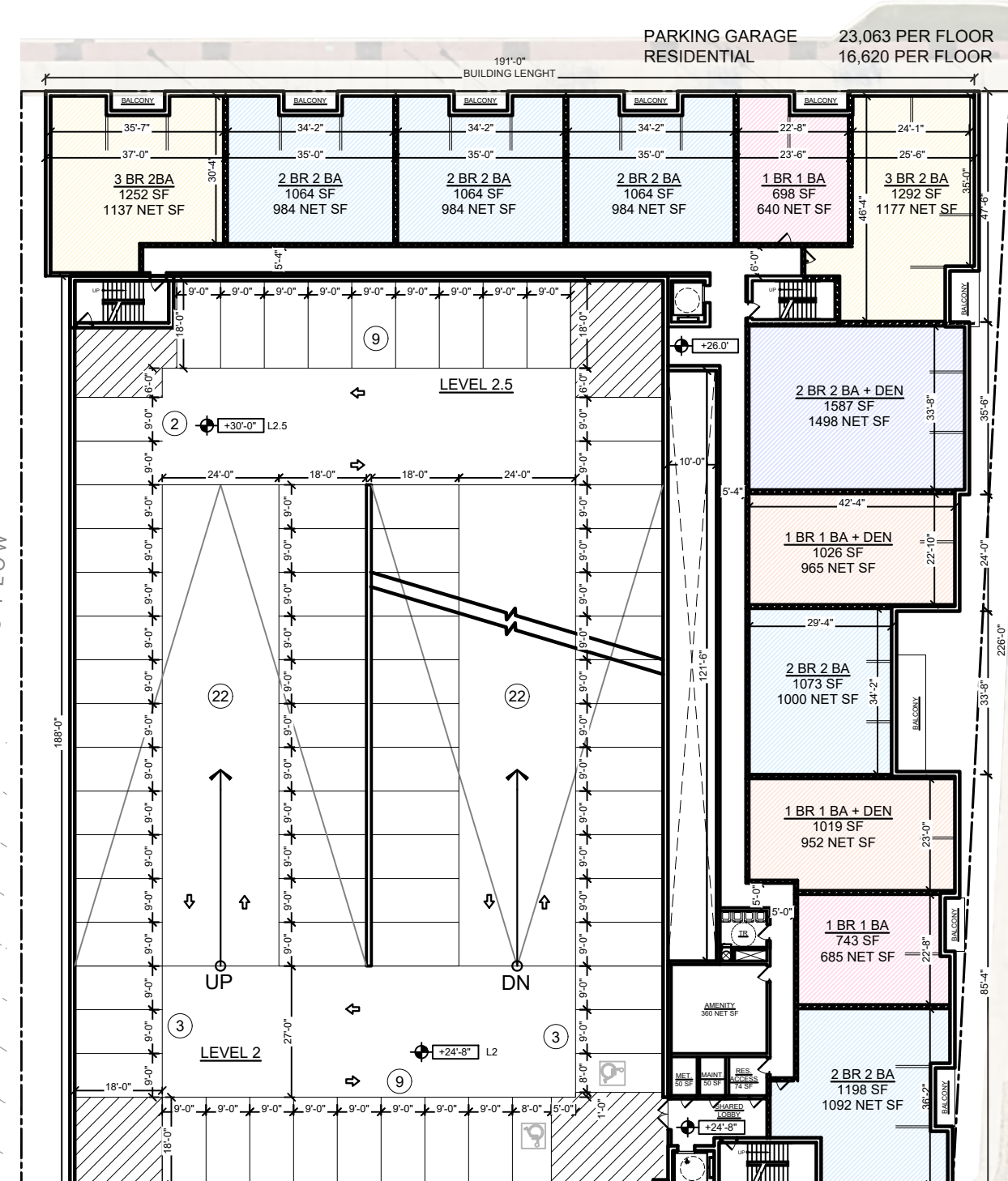
81 RESIDENTIAL
 252 PUBLIC
 328 TOTAL

UNIT BREAKDOWN

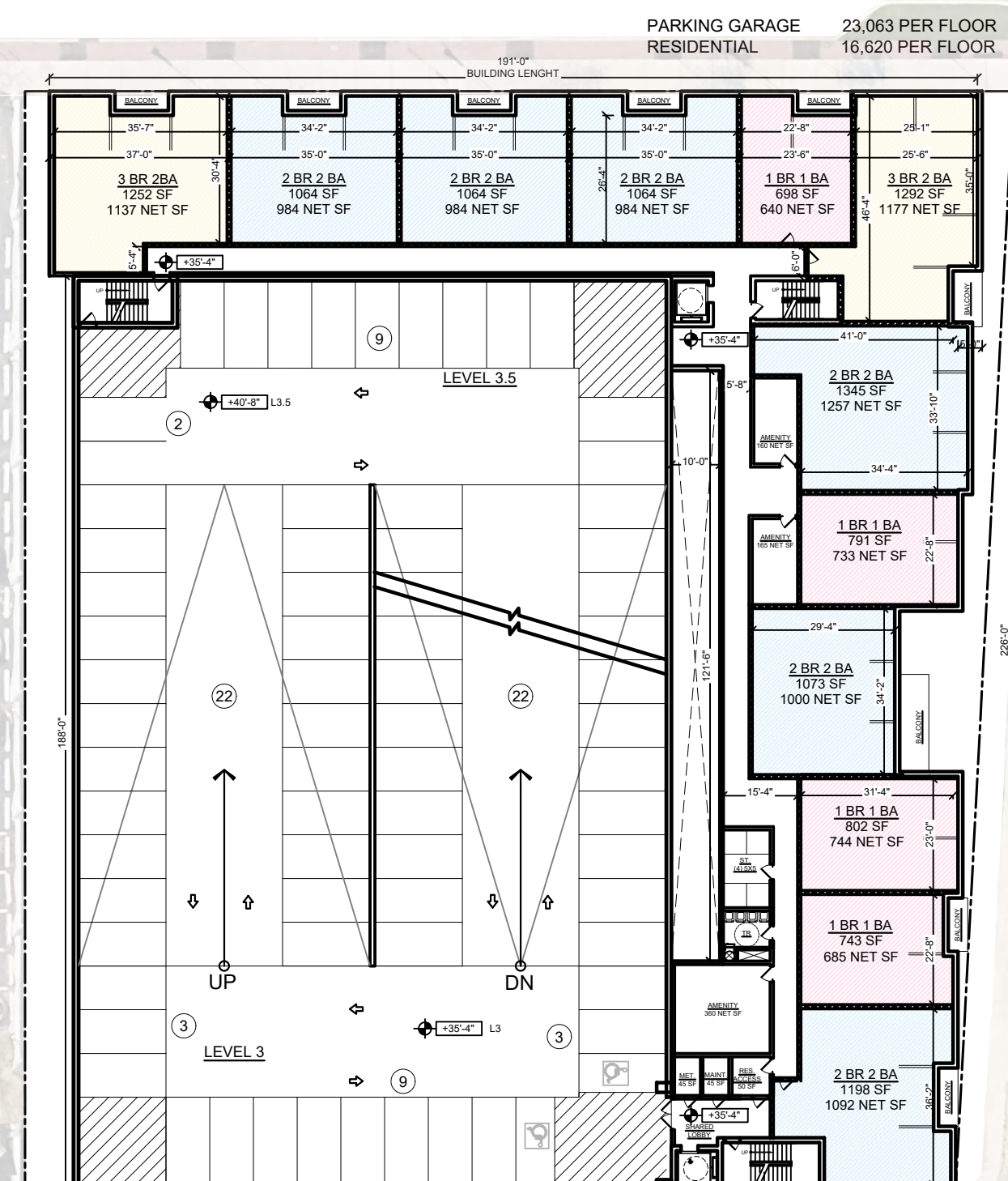
1 BED (640-744 SF)	1 BED + DEN (952-965 SF)	2 BED (942-1,257 SF)	2 BED + DEN (1,497 SF)	3 BED (1,092 - 1,177 SF)
13	4	26	2	9



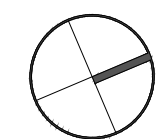
1 FLOOR 1
SCALE: 1/32" = 1'-0"



2 FLOOR 2
SCALE: 1/32" = 1'-0"



3 FLOOR 3
SCALE: 1/32" = 1'-0"



09/11/2024
 # Date Issue

Project Title
 110 FIRST AVENUE
 CITY OF ASBURY PARK,
 MONMOUTH CO., NJ
 BLOCK 3904, LOT 1

Project Description
 5 STORY MULTI-FAMILY RESIDENTIAL
 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

Applicant
 STARFIELD

Project Number: 24-1662
 Drawn by : AM
 Checked by : FJM, ACV
 Scale : As Noted

Sheet Title

BUILDING INFORMATION /
 ARCHITECTURAL OVERALL
 PLANS

Sheet Number

SEAL
 Frank J. Minervini, AIA
 NJ License # 12576
 NY License # 03 0297 63
 Anthony C. Vandermark, Jr. AIA
 NJ License # 17698
 NY License # 32710-1
 Adrian Melia, AIA
 NJ License # 18738
 Ciaran Kelly, AIA
 NJ License # 18866

- 09/11/2024
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 5 STORY MULTI-FAMILY RESIDENTIAL
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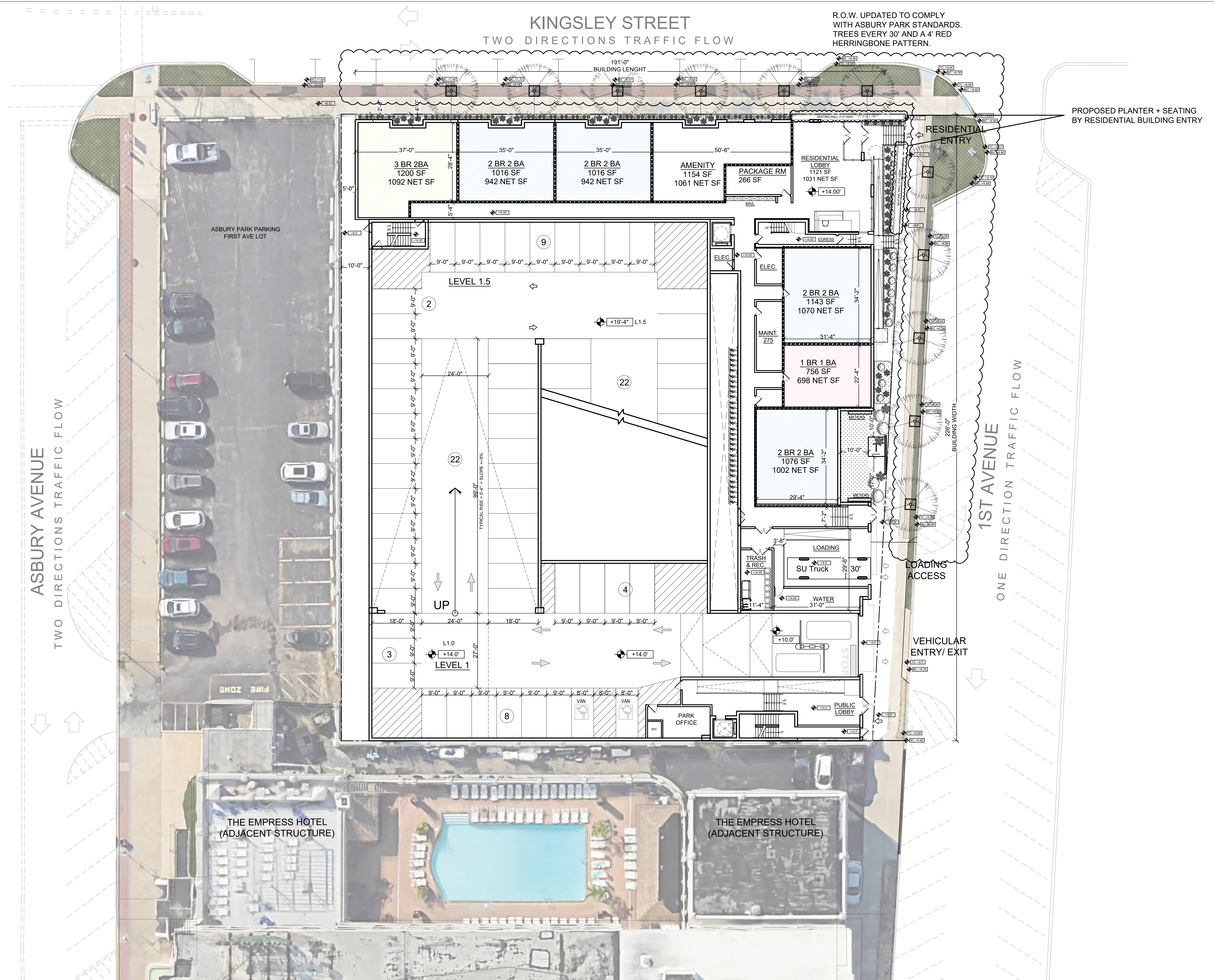
Applicant
 STARFIELD

Project Number: 24-1662
 Drawn by : AM
 Checked by : FJM, ACV
 Scale : As Noted

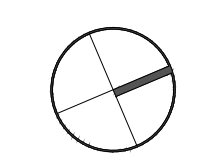
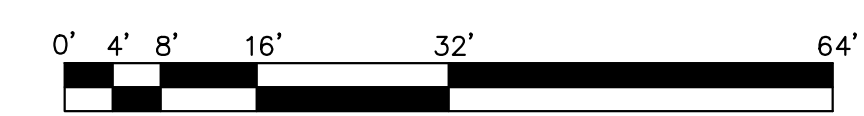
Sheet Title

ARCHITECTURAL PLANS
 FLOOR 1

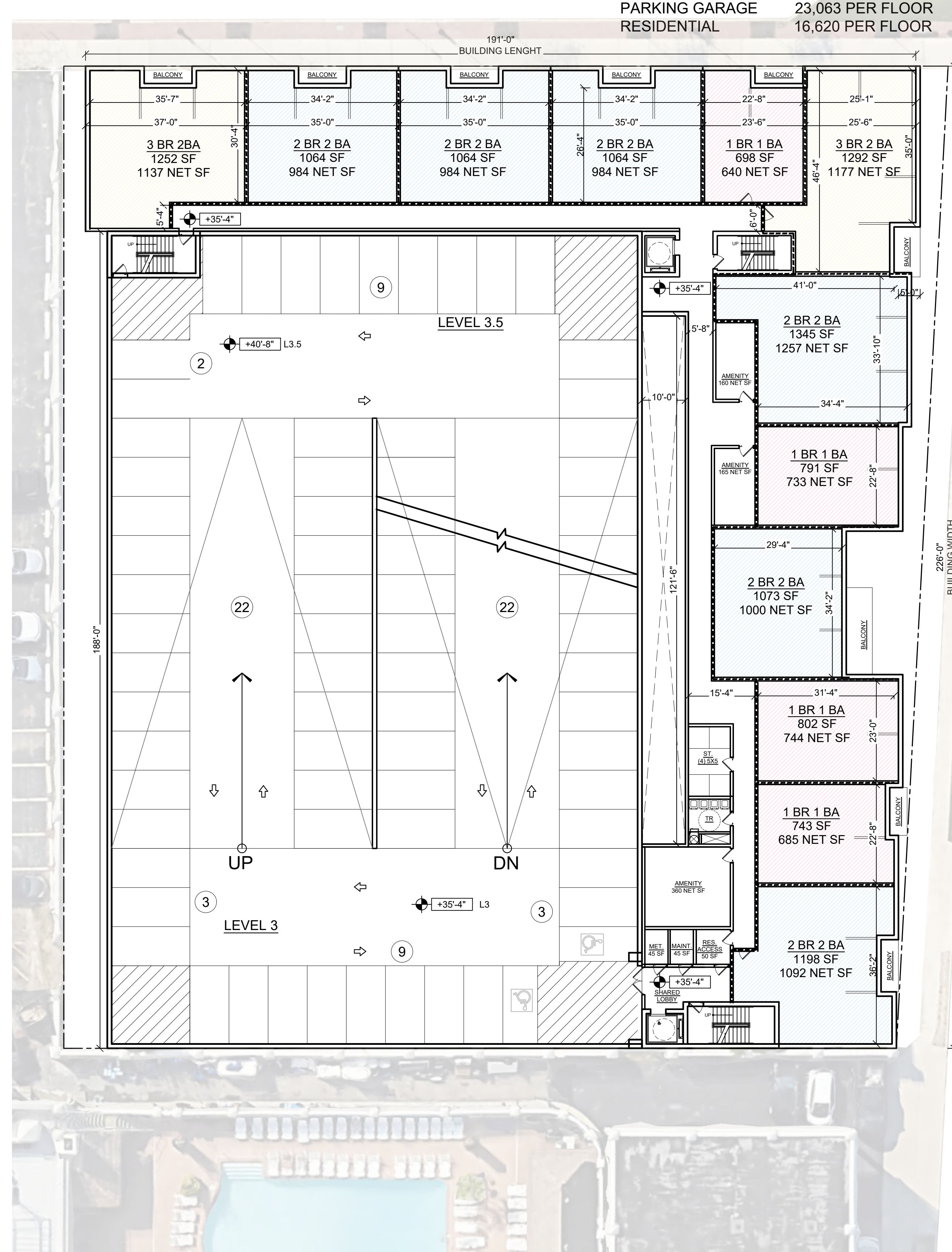
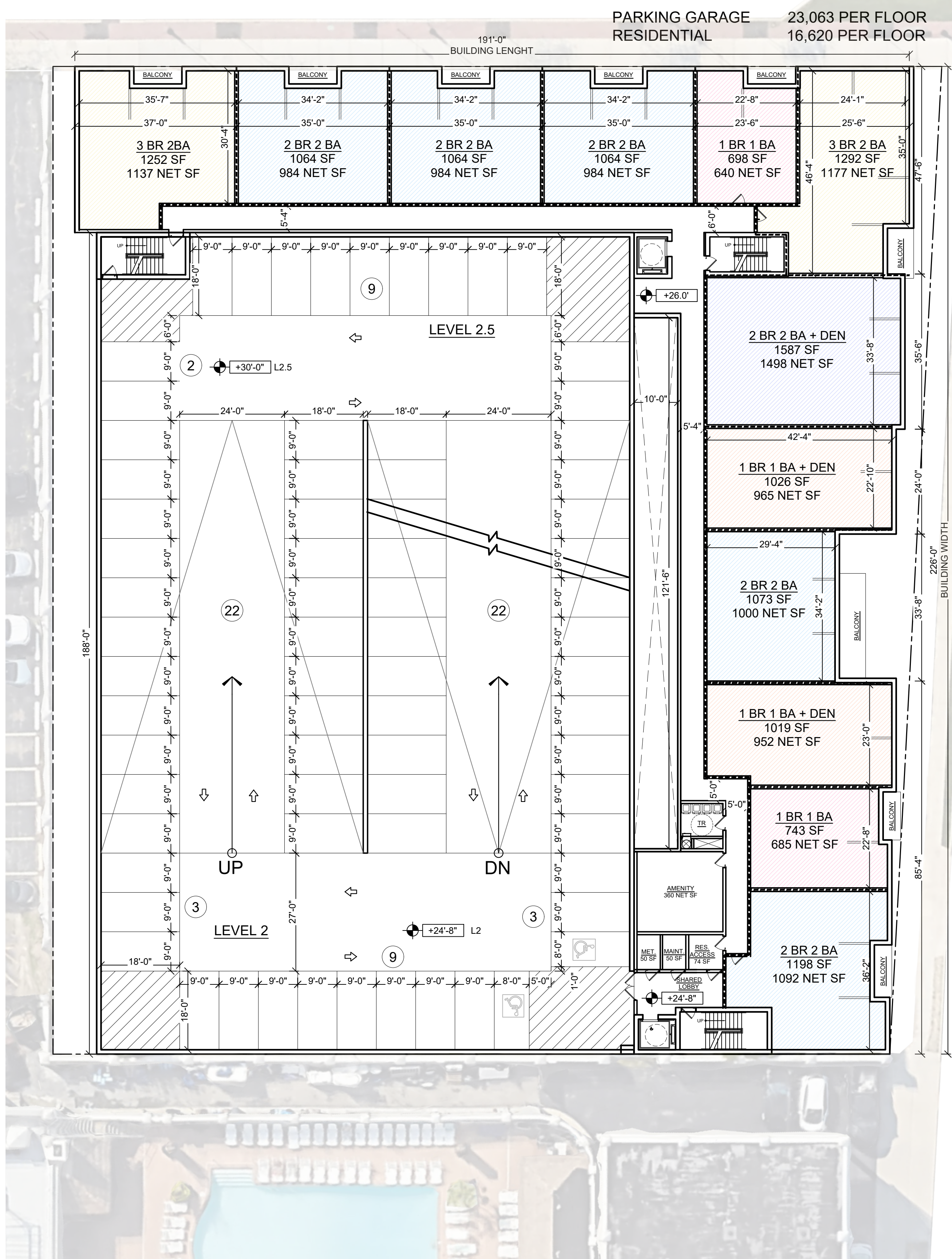
Sheet Number



1 1ST FLOOR PLAN
 SCALE: 1/16" = 1'-0"

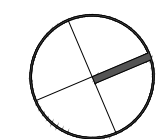
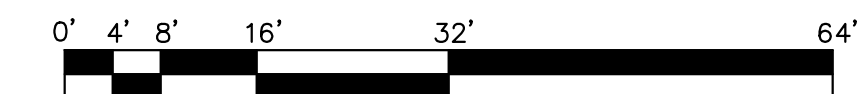


SEAL
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 NY License # 03 0297 63
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 Adrian Melia, AIA
 NJ License # 18738
 Claran Kelly, AIA
 NJ License # 18866



1 2ND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

2 3RD FLOOR PLAN
 SCALE: 1/16" = 1'-0"



09/11/2024
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 CITY OF ASBURY PARK,
 MONMOUTH CO., NJ
 BLOCK 3904, LOT 1

Project Description
 5 STORY MULTI-FAMILY RESIDENTIAL
 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

Applicant
 STARFIELD

Project Number: 24-1662
 Drawn by : AM
 Checked by : FJM, ACV
 Scale : As Noted

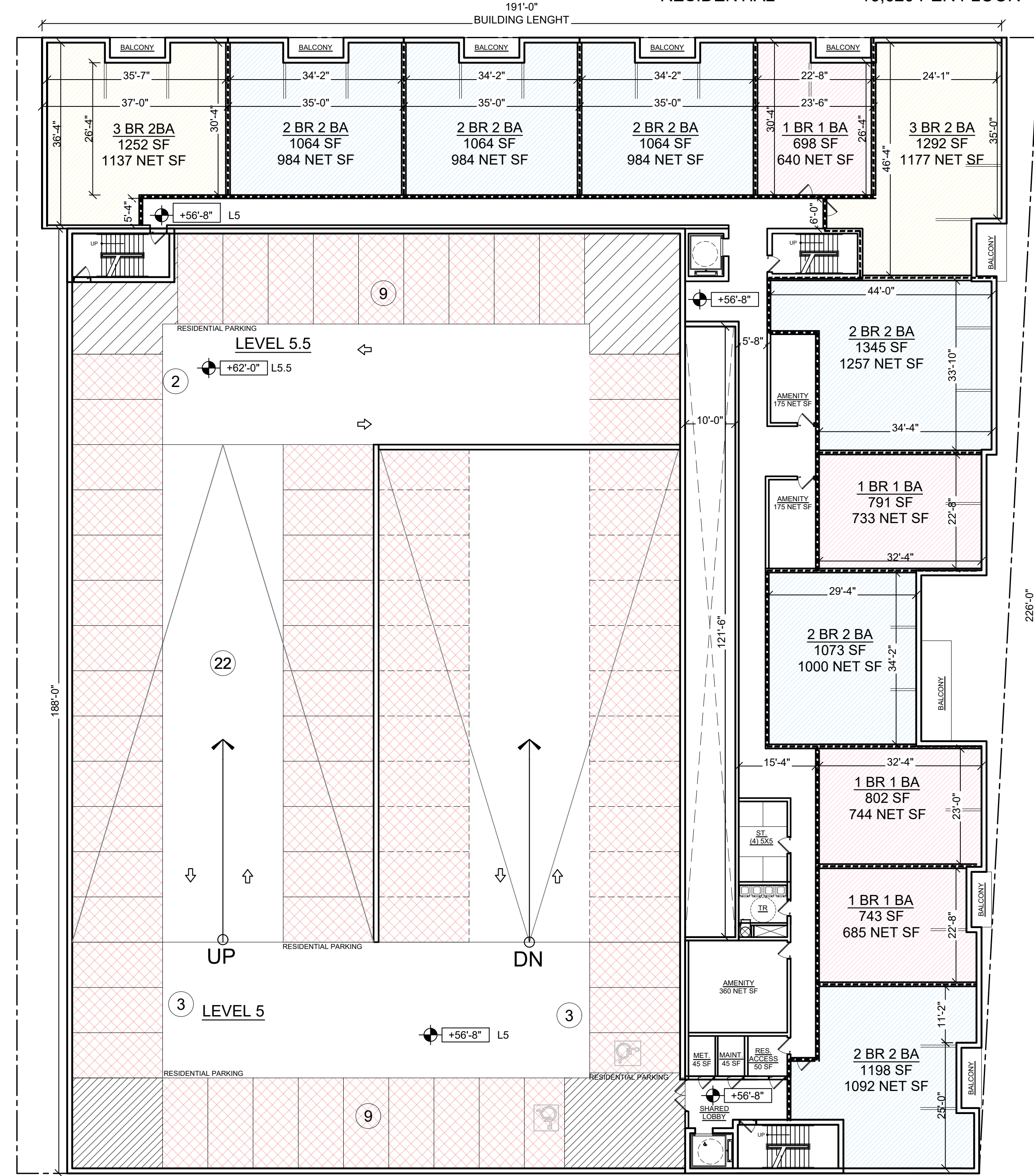
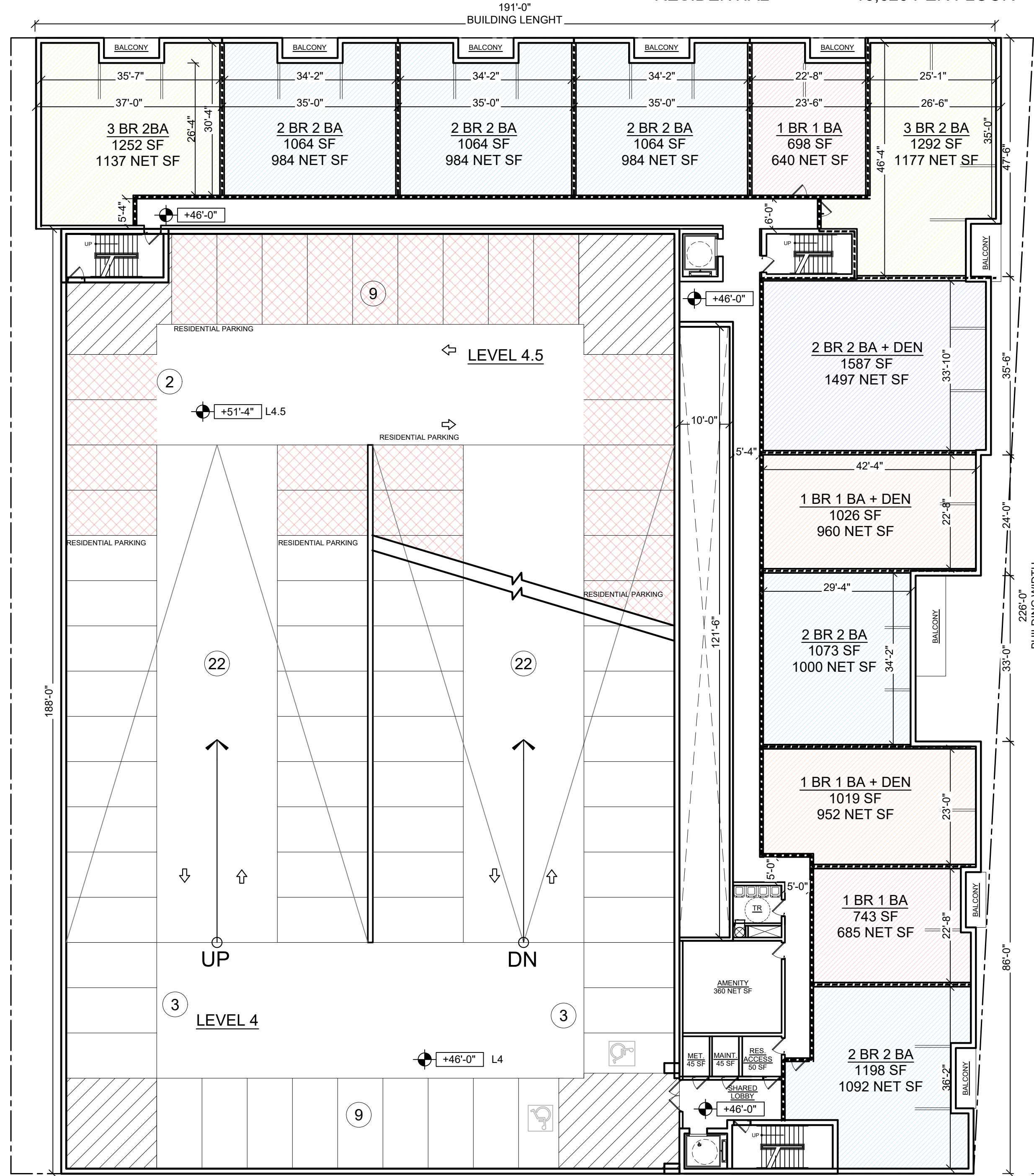
Sheet Title

ARCHITECTURAL PLANS
 FLOOR 2-3

Sheet Number

PARKING GARAGE 23,063 PER FLOOR
 RESIDENTIAL 16,620 PER FLOOR

PARKING GARAGE 23,063 PER FLOOR
 RESIDENTIAL 16,620 PER FLOOR



1 4TH FLOOR PLAN
 SCALE: 1/16" = 1'-0"

2 5TH FLOOR PLAN
 SCALE: 1/16" = 1'-0"

SEAL
 Frank J. Minervini, AIA
 NJ License # 12574
 NY License # 03 0297 63
 Anthony C. Vandermark, Jr. AIA
 NJ License # 17698
 NY License # 32710-1
 Adrian Melia, AIA
 NJ License # 18738
 Ciaran Kelly, AIA
 NJ License # 18866

- 09/11/2024
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 CITY OF ASBURY PARK,
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 5 STORY MULTI-FAMILY RESIDENTIAL
 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

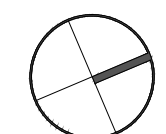
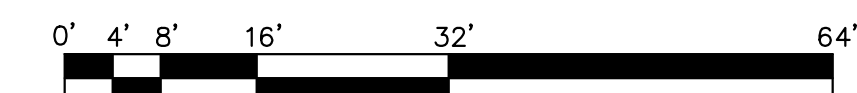
Applicant
 STARFIELD

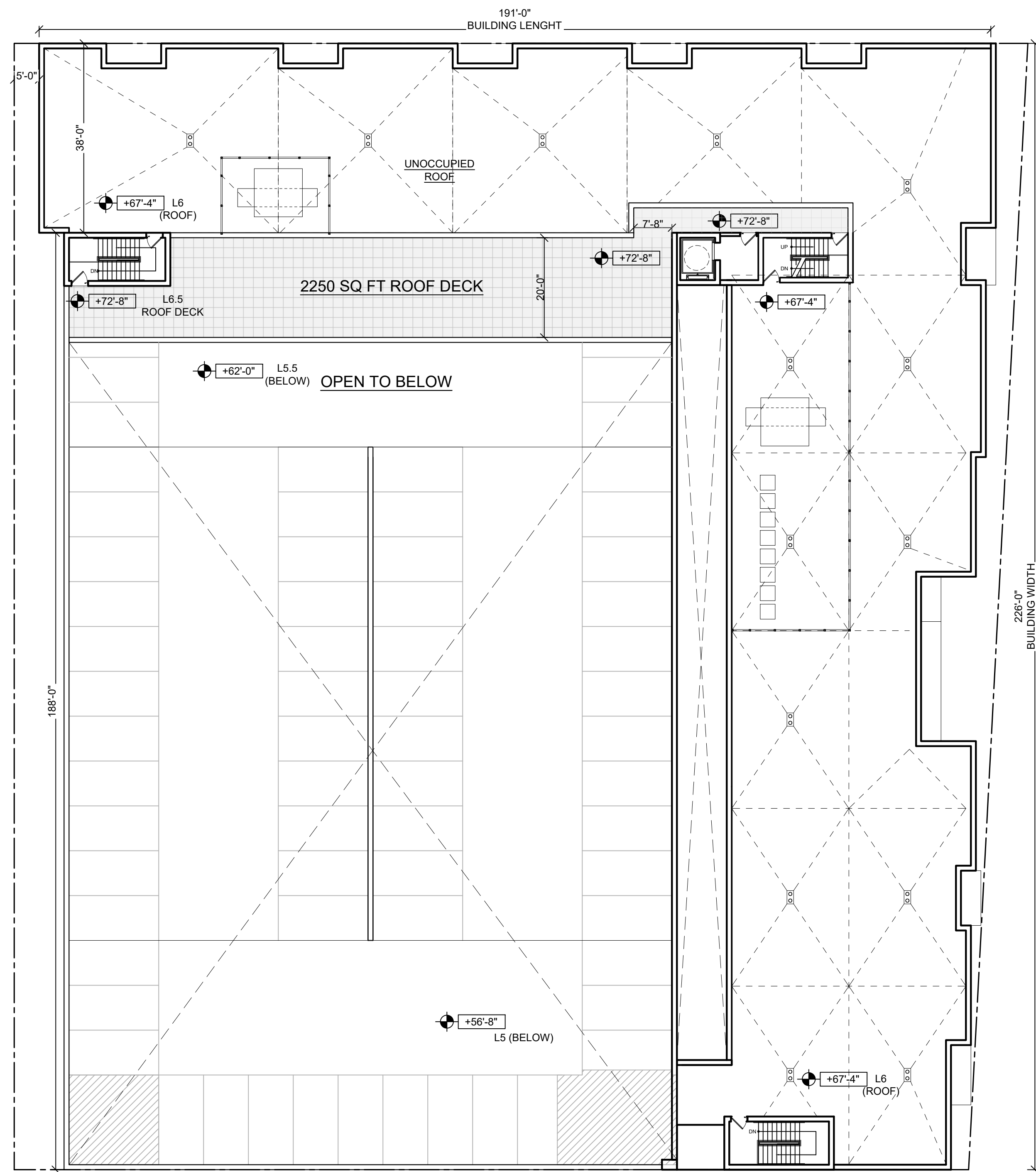
Project Number: 24-1662
 Drawn by : AM
 Checked by : FJM, ACV
 Scale : As Noted

Sheet Title

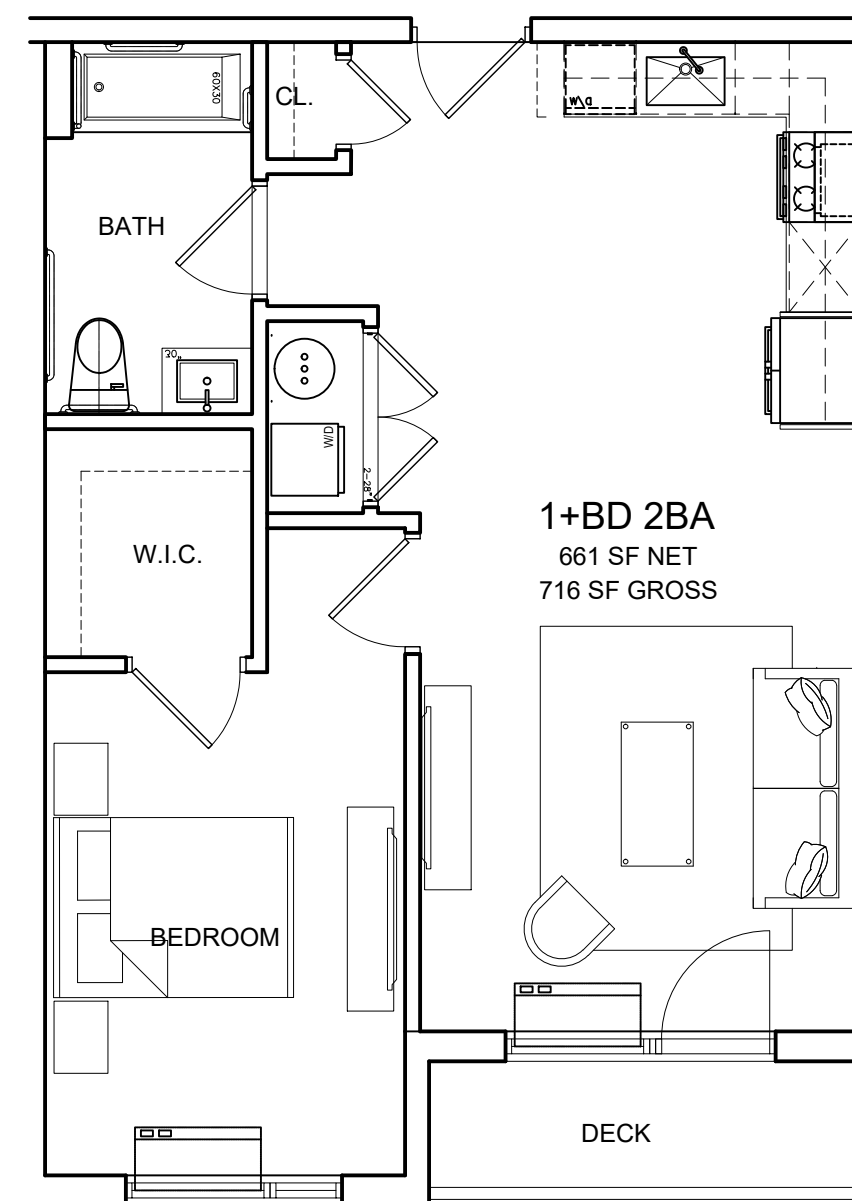
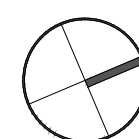
ARCHITECTURAL PLANS
 FLOOR 4-5

Sheet Number

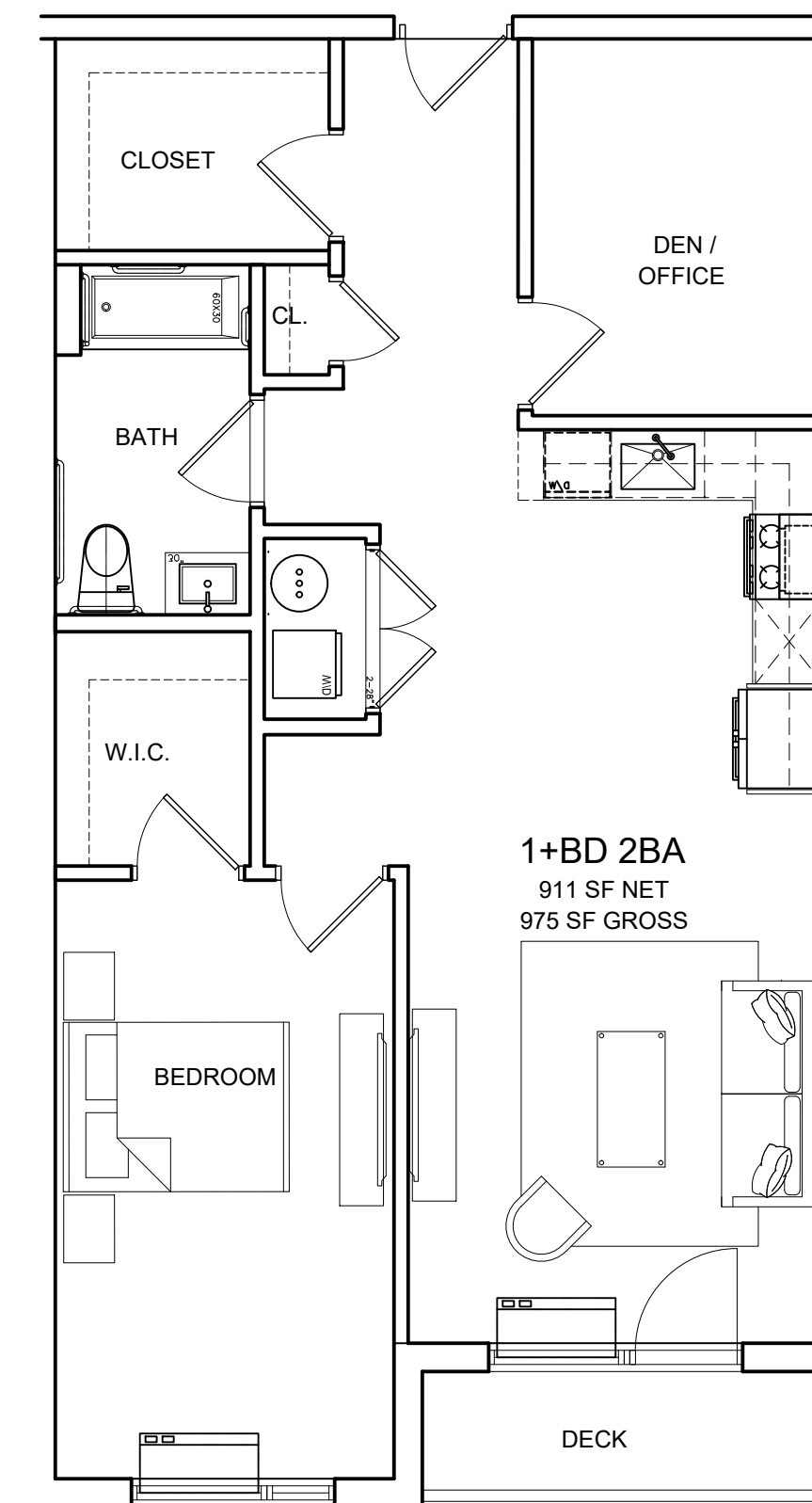




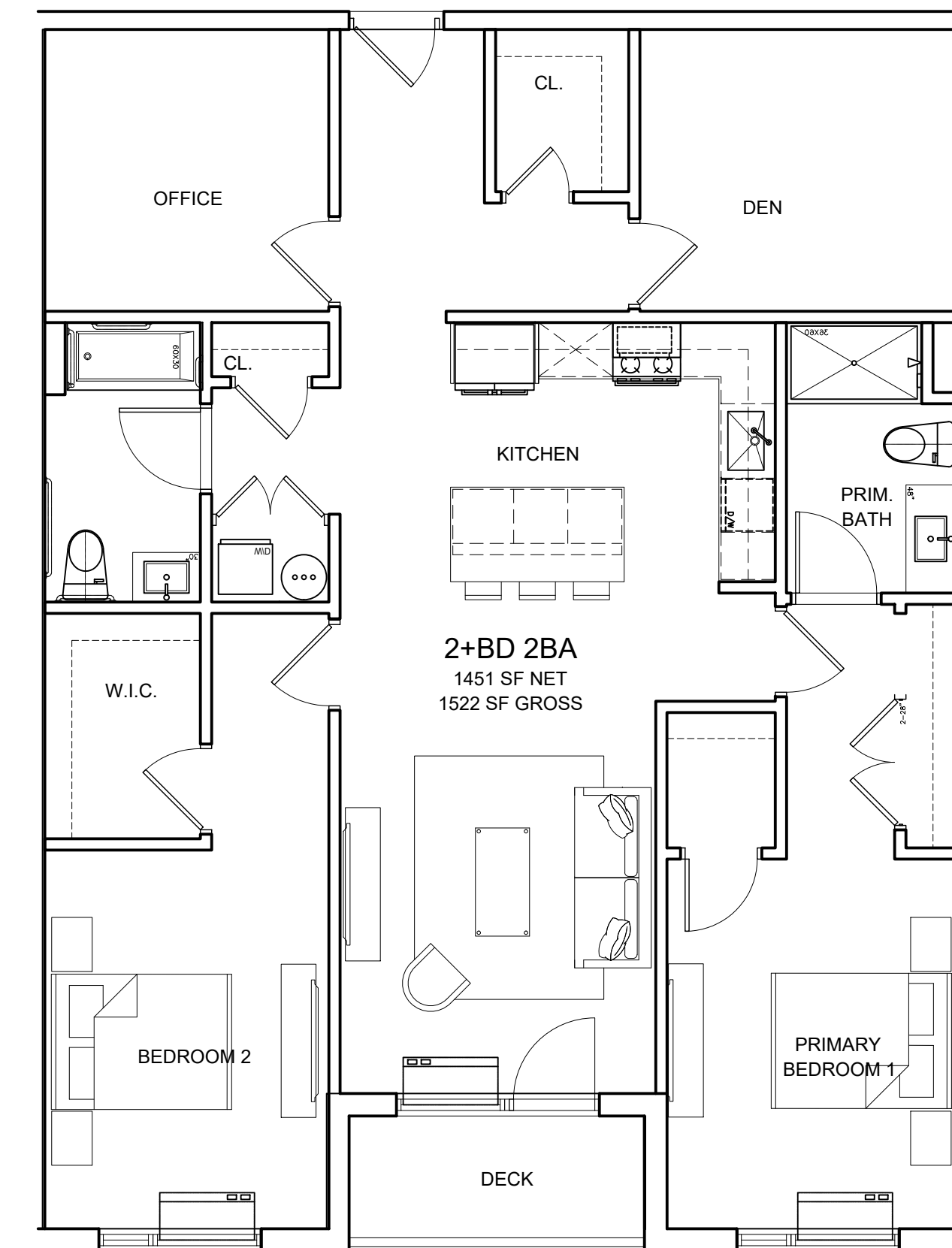
1 ROOF PLAN
 SCALE: 1/16" = 1'-0"



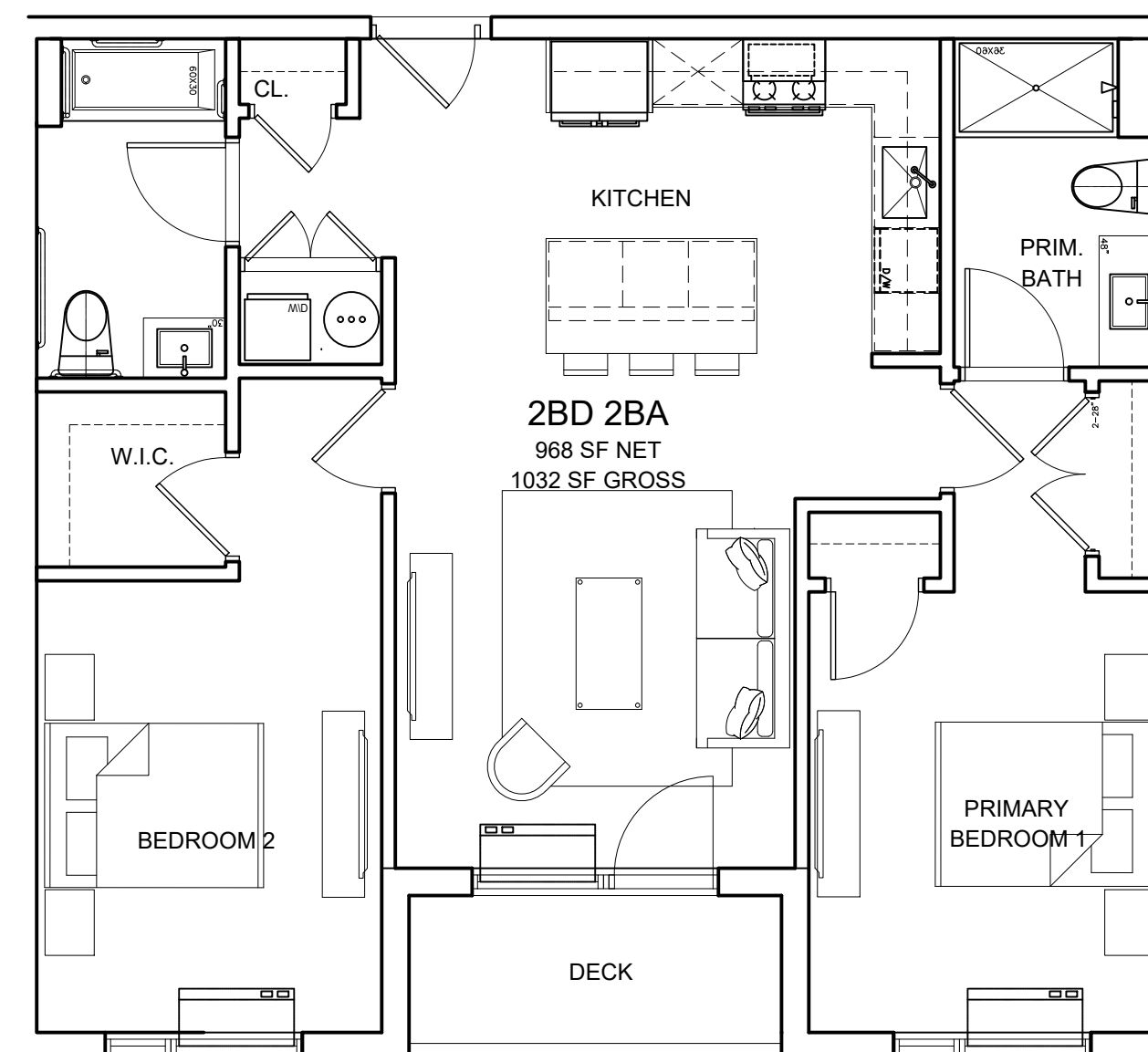
2 UNIT A1 (1 BED)
 SCALE: 3/16" = 1'-0"



3 UNIT A2 (1 BED)
 SCALE: 3/16" = 1'-0"



4 UNIT B1 (2 BED)
 SCALE: 3/16" = 1'-0"



5 UNIT B2 (2 BED)
 SCALE: 3/16" = 1'-0"



6 UNIT C1 (3 BED)
 SCALE: 3/16" = 1'-0"

SEAL
 Frank J. Minervini, AIA
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 NY License # 03 0297 63
 Anthony C. Vandermark, Jr. AIA
 NJ License # 17698
 NY License # 32110-1
 Adrian Melia, AIA
 NJ License # 18738
 Ciaran Kelly, AIA
 NJ License # 18866

- 09/11/2024
 # Date Issue

Project Title
110 FIRST AVENUE
 CITY OF ASBURY PARK,
 MONMOUTH CO., NJ
 BLOCK 3904, LOT 1

Project Description
 5 STORY MULTI-FAMILY RESIDENTIAL
 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

Applicant
 STARFIELD

Project Number: 24-1662
 Drawn by : AM
 Checked by : FJM, ACV
 Scale : As Noted

Sheet Title

ARCHITECTURAL PLANS
 ROOF / TYPICAL UNIT PLANS

Sheet Number



1 1ST AVE BUILDING ELEVATION
 SCALE: 3/32" = 1'-0"



1 KINGSLEY STREET BUILDING ELEVATION
 SCALE: 3/32" = 1'-0"

SEAL

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 NY License # 03 0297 63

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 NY License # 32710-1

Adrian Melia, AIA
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- 09/11/2024
 # Date Issue

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 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

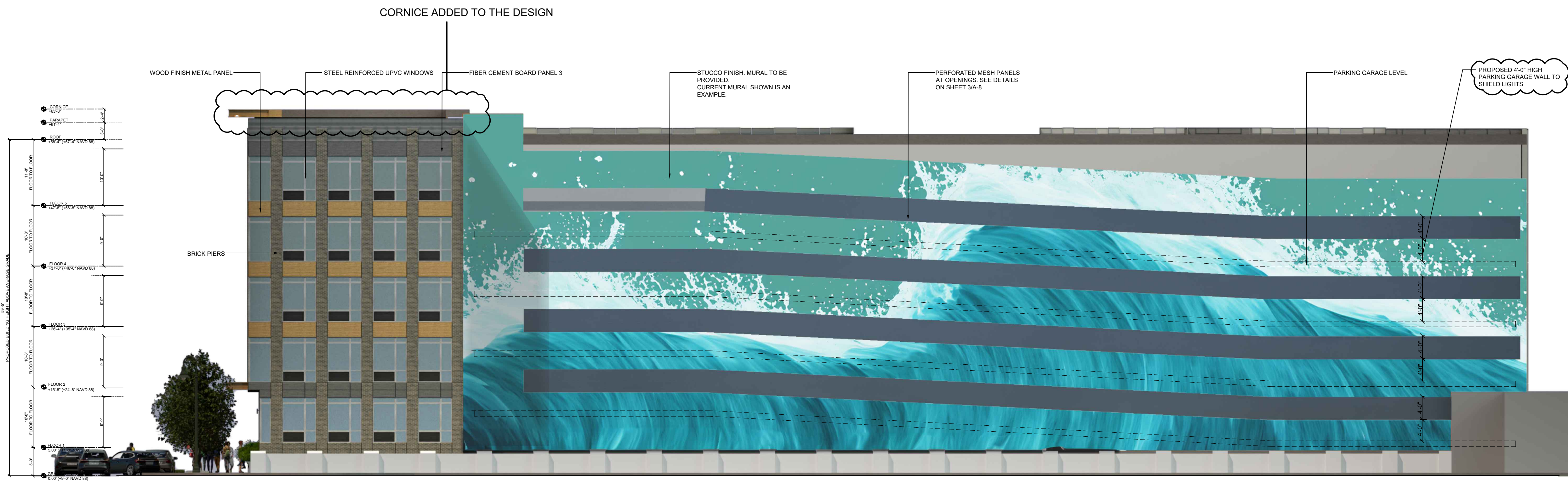
Applicant
 STARFIELD

Project Number: 24-1662
 Drawn by : AM
 Checked by : FJM, ACV
 Scale : As Noted

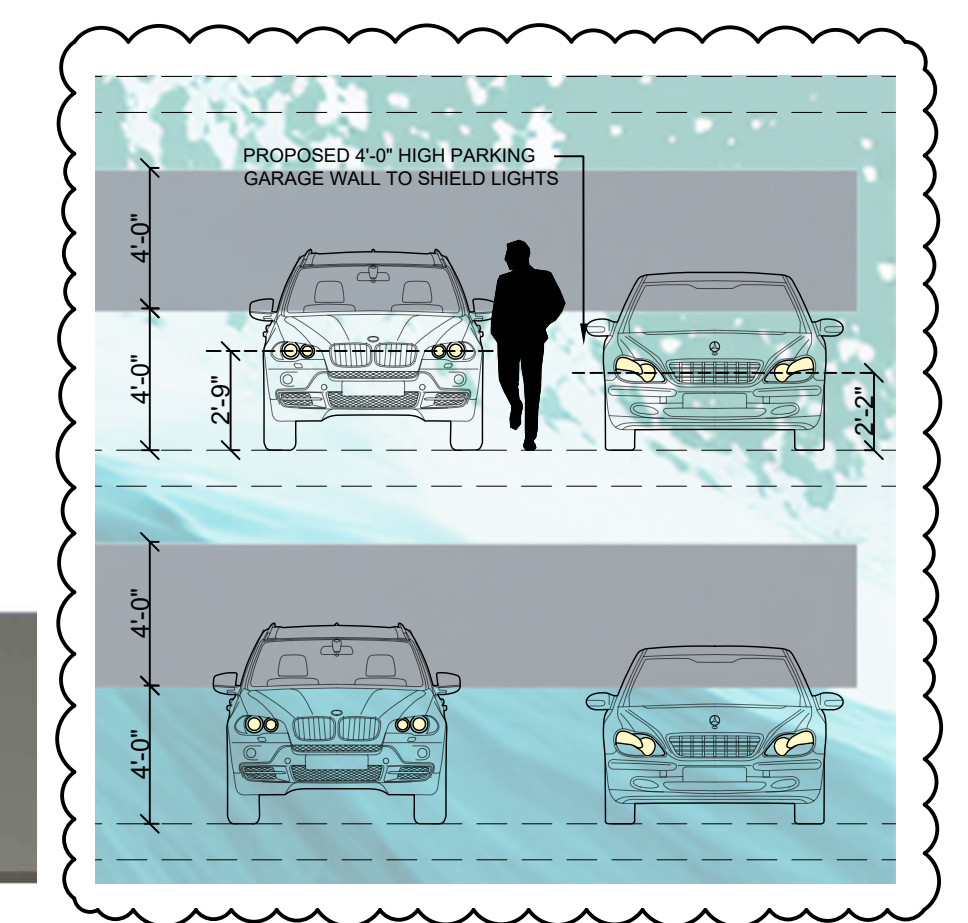
Sheet Title

BUILDING ELEVATIONS

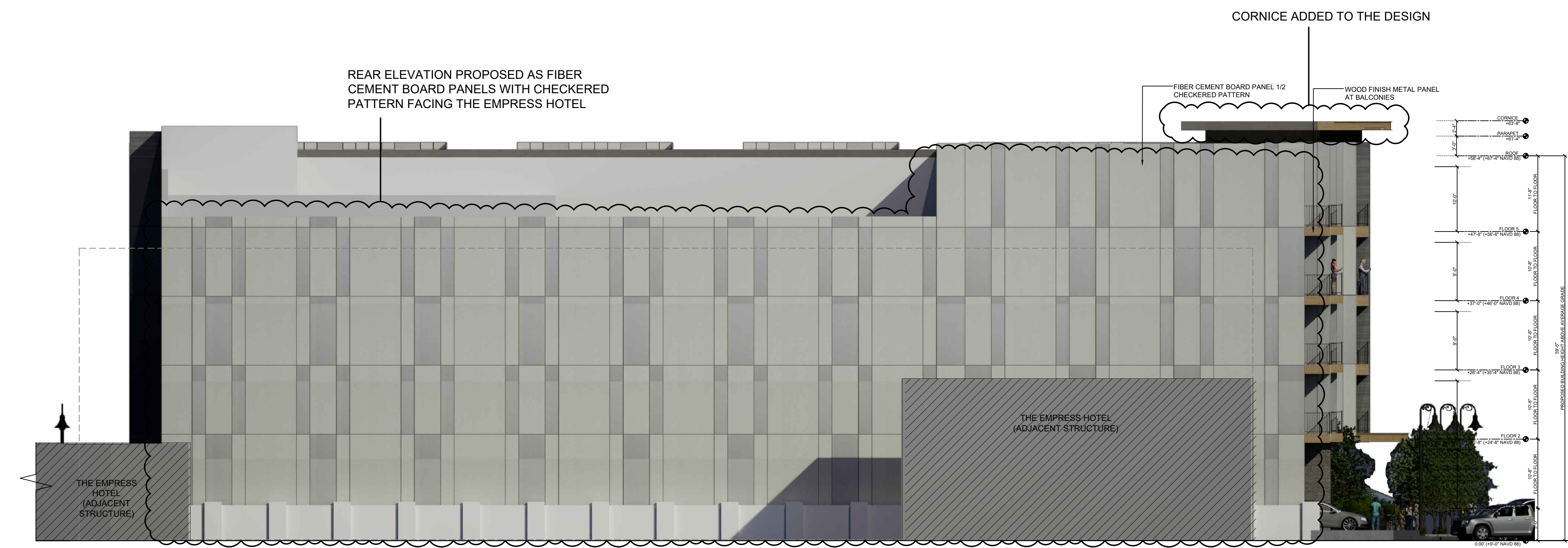
Sheet Number



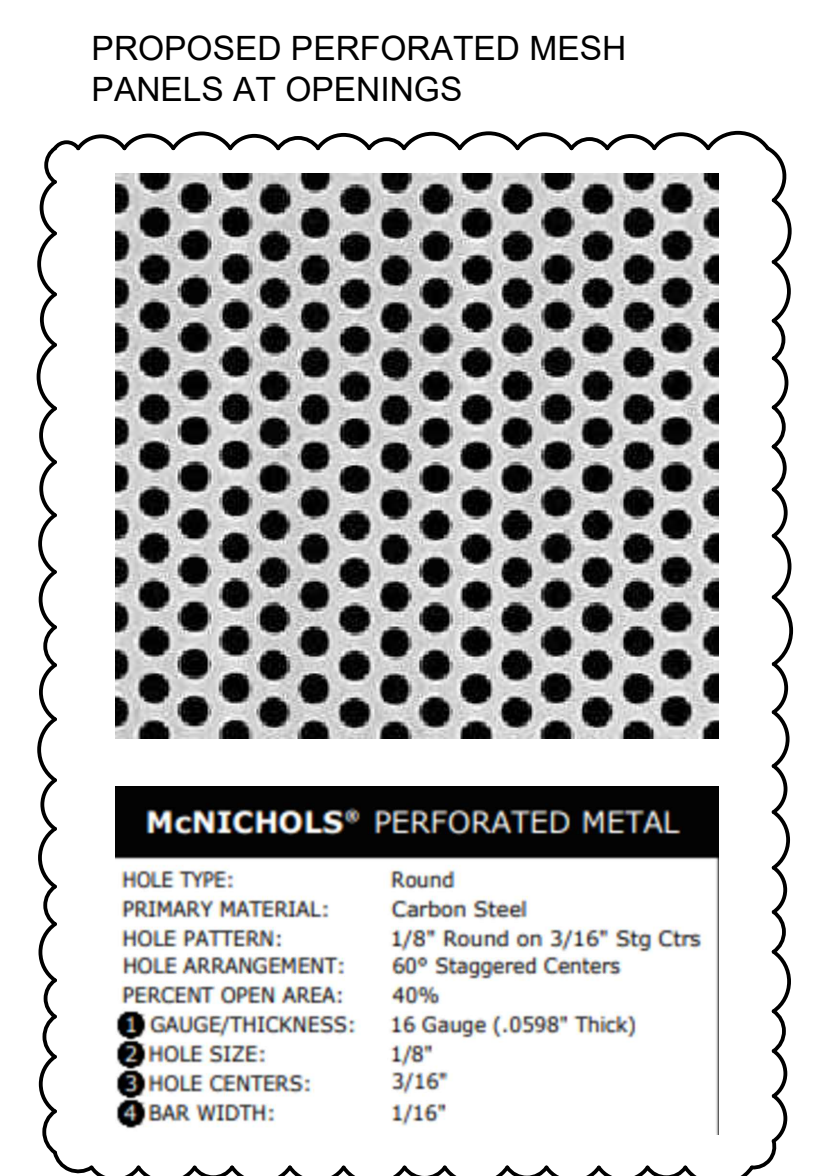
1 SOUTH BUILDING ELEVATION (WITH EXAMPLE MURAL)
 SCALE: 3/32" = 1'-0"



3 PARKING GARAGE WALL DETAIL
 SCALE: 3/16" = 1'-0"



2 EAST BUILDING ELEVATION (REAR)
 SCALE: 3/32" = 1'-0"



4 PERFORATED METAL PANEL DETAIL
 SCALE: NTS

- SEAL
- Frank J. Minervini, AIA
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 NY License # 03 0297 63
 - Anthony C. Vandermark, Jr. AIA
 NJ License # 17698
 NY License # 32710-1
 - Adrian Melia, AIA
 NJ License # 18738
 - Ciaran Kelly, AIA
 NJ License # 18866

#	Date	Issue
-	09/11/2024	

Project Title
 110 FIRST AVENUE
 CITY OF ASBURY PARK,
 MONMOUTH CO., NJ
 BLOCK 3904, LOT 1

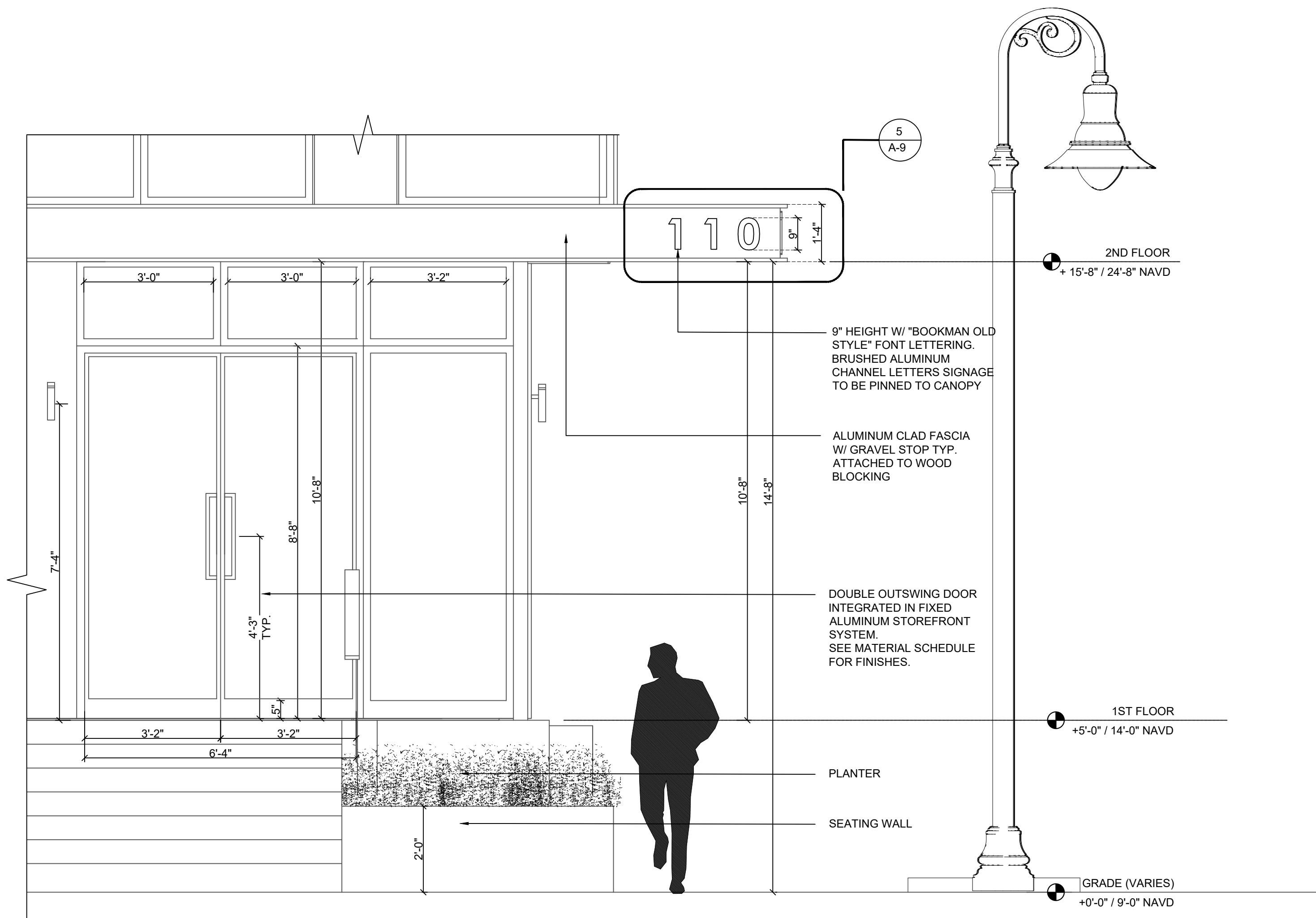
Project Description
 5 STORY MULTI-FAMILY RESIDENTIAL
 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

Applicant
 STARFIELD

Project Number: 24-1662
 Drawn by: AM
 Checked by: FJM, ACV
 Scale: As Noted

Sheet Title
 BUILDING ELEVATIONS

Sheet Number
A-7



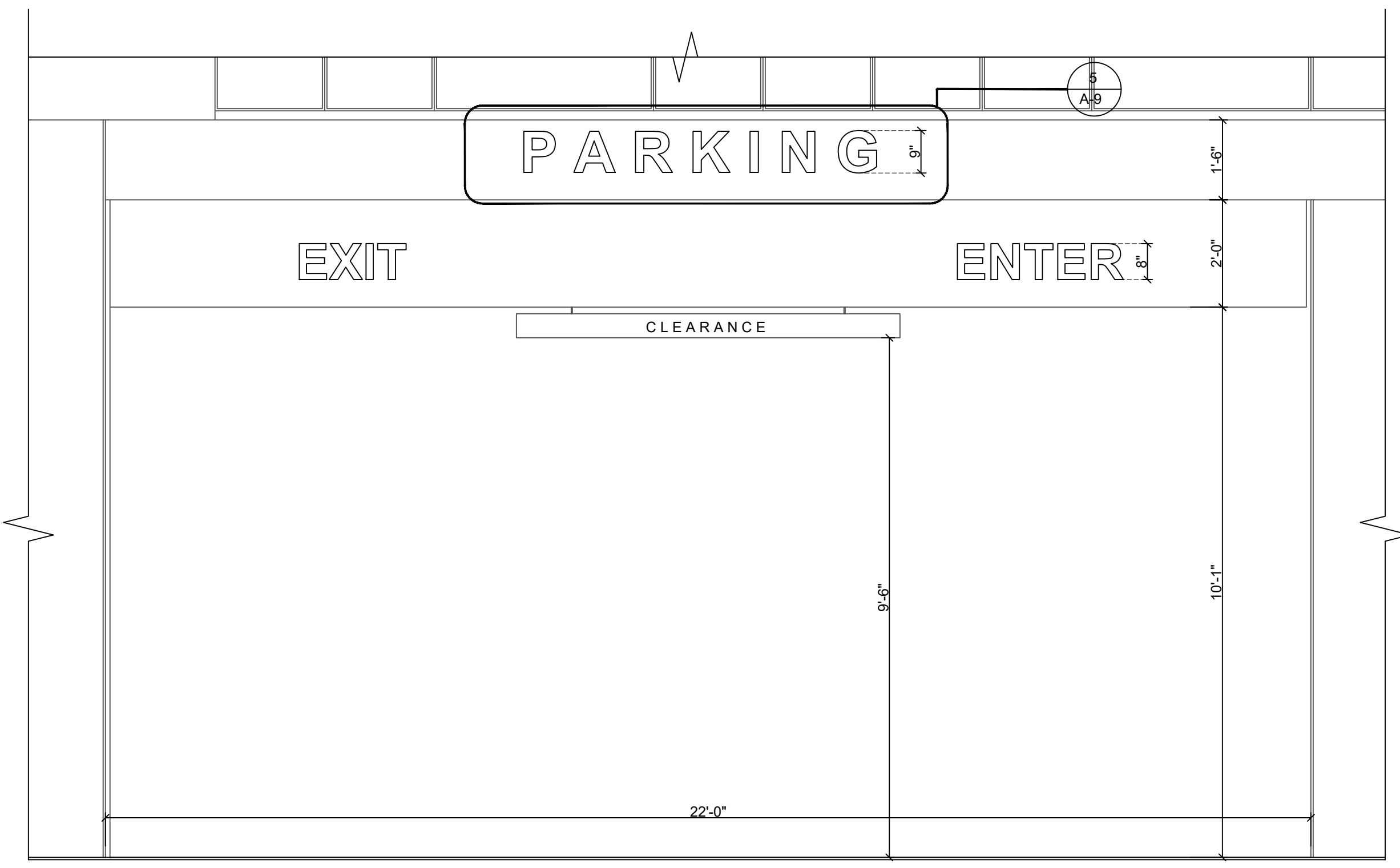
1 STOREFRONT DETAIL
 SCALE: 1/2" = 1'-0"



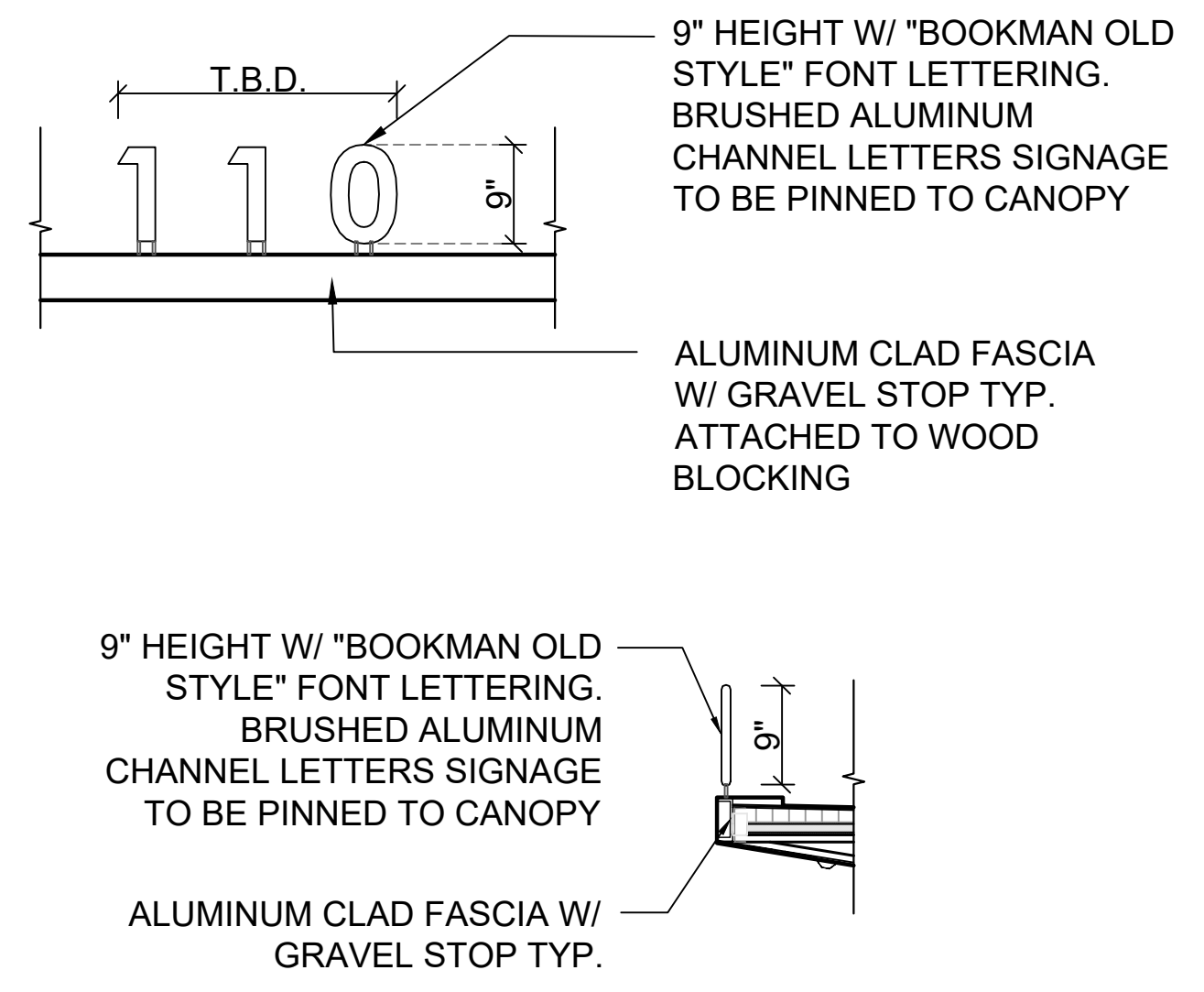
3 SIGNAGE REFERENCE IMAGE
 SCALE: NTS



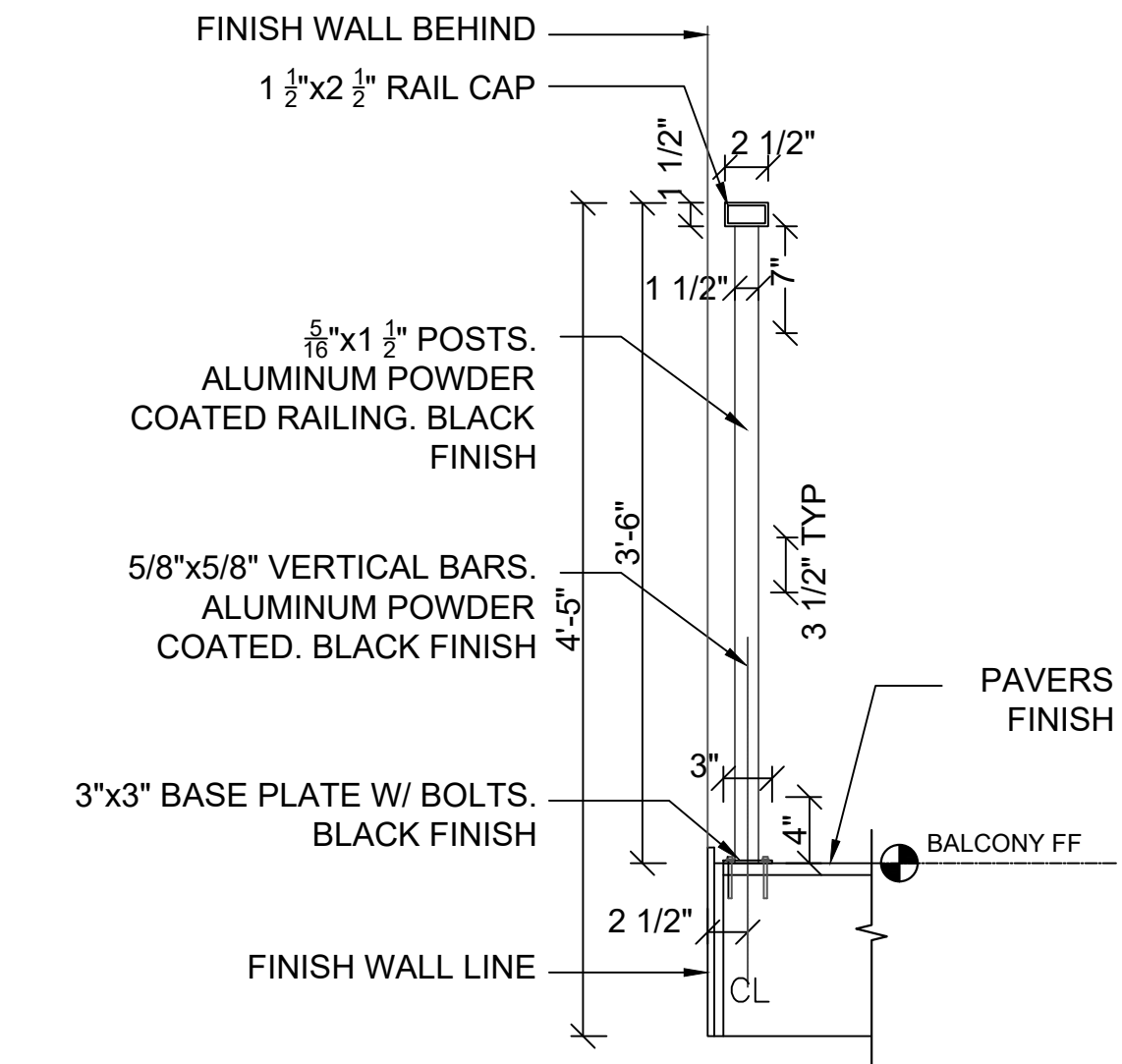
4 BALCONY RAILING REFERENCE IMAGE
 SCALE: NTS



2 PARKING SIGNAGE DETAIL
 SCALE: 1/2" = 1'-0"



5 SIGNAGE DETAIL
 SCALE: 1" = 1'-0"



6 RAILING DETAIL
 SCALE: 1" = 1'-0"

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 Frank J. Minervini, AIA
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- 09/11/2024
 # Date Issue

Project Title
 110 FIRST AVENUE
 CITY OF ASBURY PARK,
 MONMOUTH CO., NJ
 BLOCK 3904, LOT 1

Project Description
 5 STORY MULTI-FAMILY RESIDENTIAL
 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

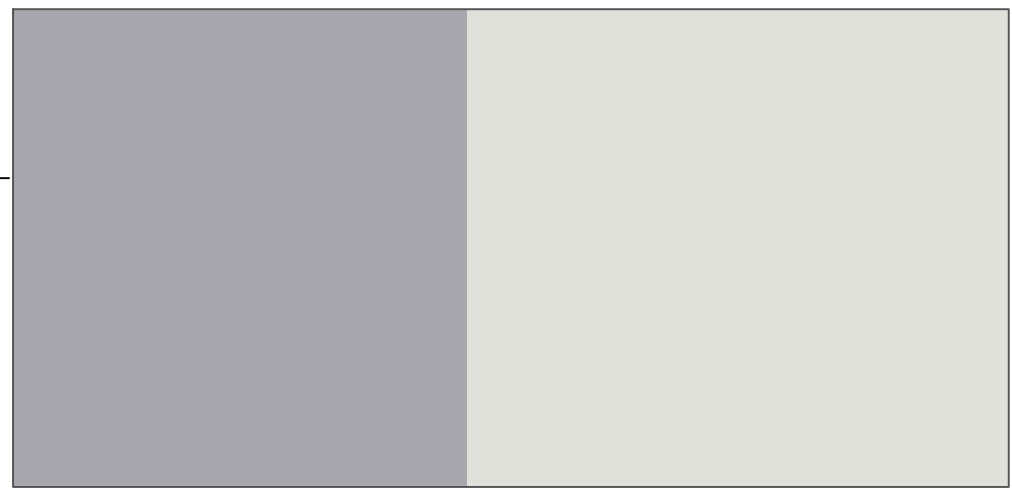
Applicant
 STARFIELD

Project Number: 24-1662
 Drawn by : AM
 Checked by : FJM, ACV
 Scale : As Noted

Sheet Title

SIGNAGE, STOREFRONT AND
 RAILING DETAILS

Sheet Number



FIBER CEMENT BOARD 1/2 BY JAMES HARDIE. PEARL GRAY / AGED PEWTER CHECKERED PATTERN

OR ARCHITECT APPROVED REPLACEMENT



FIBER CEMENT BOARD 3 BY JAMES HARDIE. NIGHT GRAY COLOR

OR ARCHITECT APPROVED REPLACEMENT



RUNNING BOND BRICK. MODULAR SIZE. BROWN SMOOTH BY GLEN GERY.

OR ARCHITECT APPROVED REPLACEMENT



METAL PANEL WITH WOODGRAIN FINISH BY FAIRVIEW ARCHITECTURAL. LIGHT MAPLE VBC8685

OR ARCHITECT APPROVED REPLACEMENT



STEEL REINFORCED UPVC WINDOW BY INTUS WINDOWS. ANODIZED SILVER COLOR

OR ARCHITECT APPROVED REPLACEMENT

SEAL

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- 09/11/2024

Date Issue

Project Title

110 FIRST AVENUE
 CITY OF ASBURY PARK,
 MONMOUTH CO., NJ
 BLOCK 3904, LOT 1

Project Description

5 STORY MULTI-FAMILY RESIDENTIAL
 WRAP WITH A PRECAST CONCRETE
 PARKING DECK

Applicant

STARFIELD

Project Number: 24-1662

Drawn by : AM

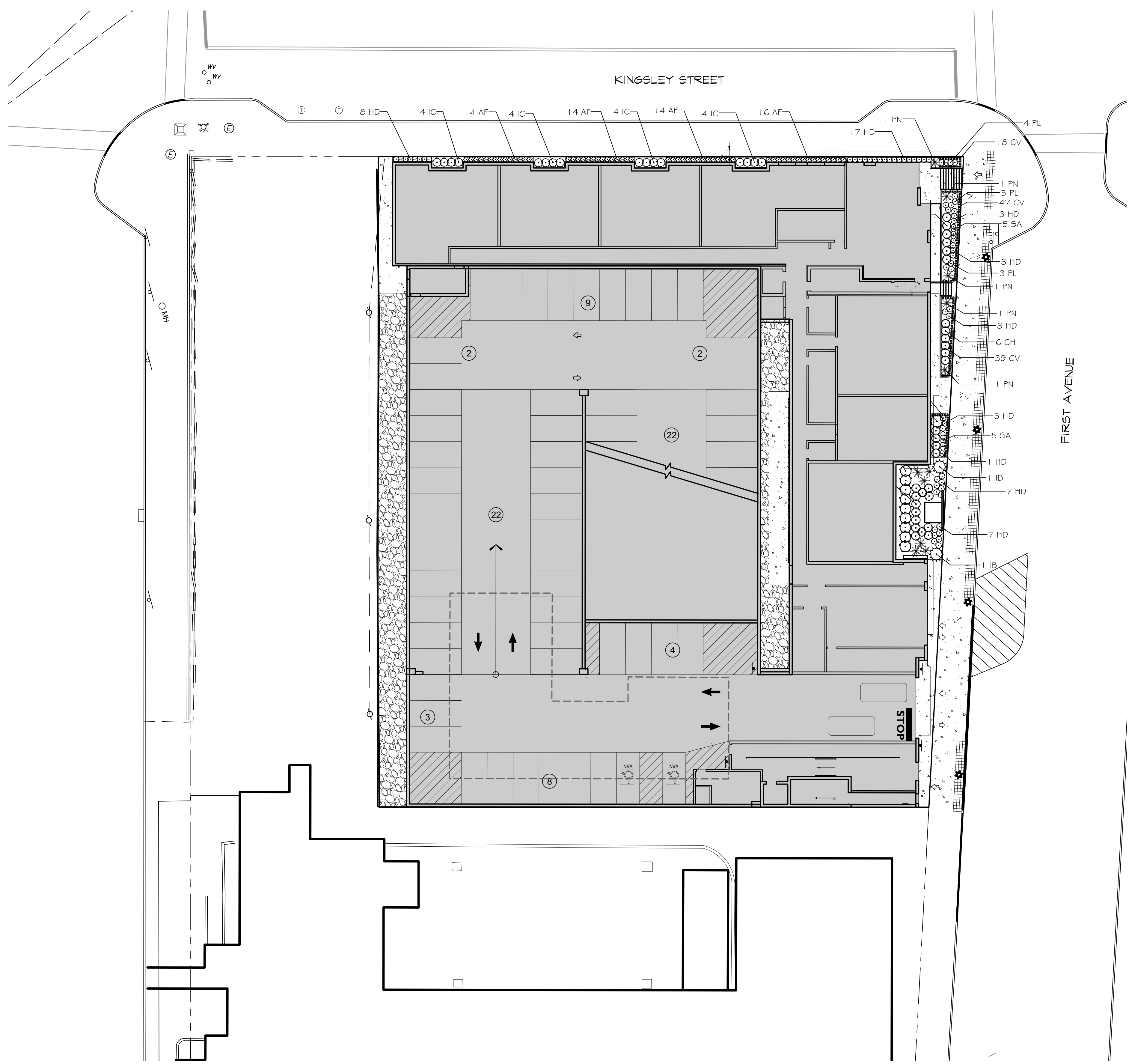
Checked by : FJM, ACV

Scale : As Noted

Sheet Title

MATERIAL BOARD

Sheet Number

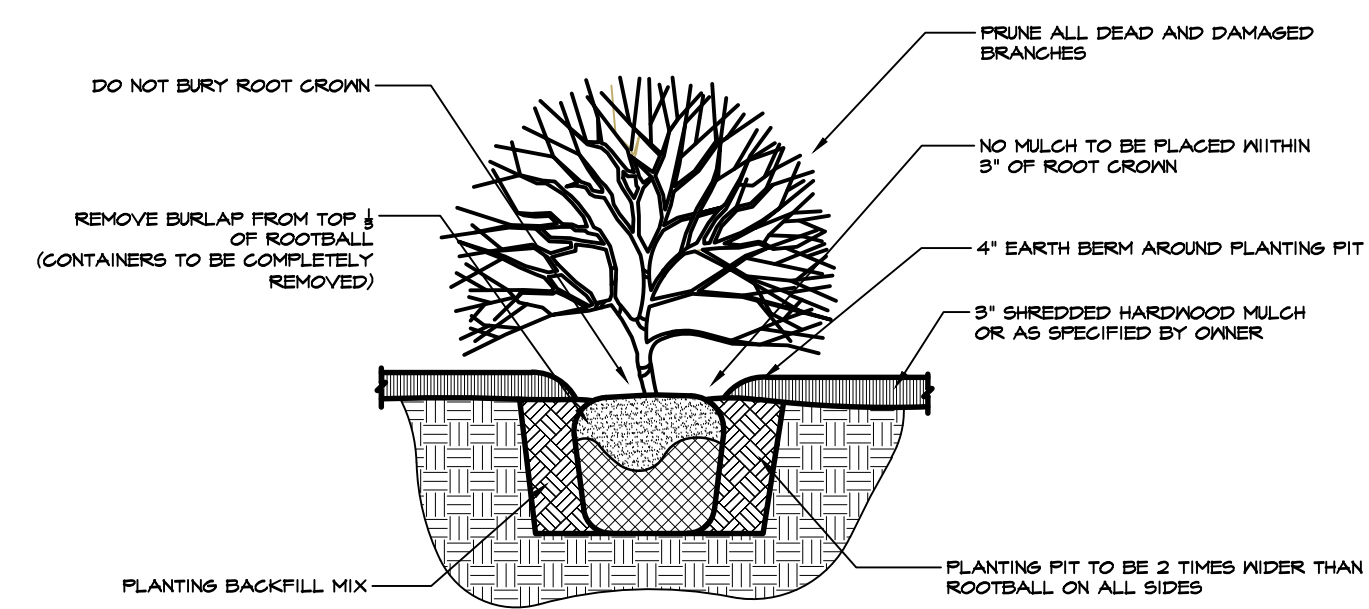


PLANT SCHEDULE

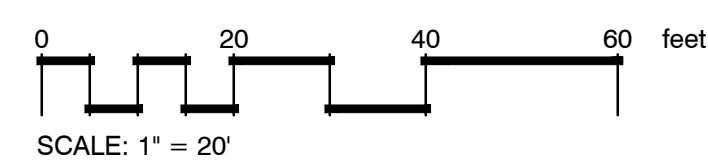
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHRUBS						
CH	24	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	Cont.	18"-24" HT.	
IC	16	Ilex crenata 'Compacta'	Compact Japanese Holly	Cont.	18"-24" HT.	
IB	4	Ilex crenata 'Green Lustre'	Green Luster Japanese Holly	Cont.	2.5'-3' HT.	
IB	3	Ilex x meserveae 'Blue Princess'	Blue Princess Holly	Cont.	4'-5' HT.	
GRASSES						
CV	121	Carex morronii 'Variegata'	Variegated Japanese Sedge	Cont.	2 QT.	
PN	11	Panicum virgatum 'Northwind'	Northwind Switch Grass	Cont.	3 GAL.	
PERENNIALS						
AF	58	Athyrium filix-femina	Common Lady Fern	Cont.	3 GAL.	
HD	52	Hosta x 'Big Daddy'	Big Daddy Hosta	Cont.	1 GAL.	
PL	12	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	Cont.	3 GAL.	
SA	10	Sedum x 'Autumn Joy'	Autumn Joy Sedum	Cont.	1 GAL.	

LANDSCAPE NOTES

- A. GENERAL**
- THE LANDSCAPE PLAN WAS PREPARED FOR LANDSCAPING PURPOSES ONLY. THIS PLAN SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 - IN THE EVENT THAT DISCREPANCIES ARE DISCOVERED BETWEEN THE PLAN AND THE PLANTING SCHEDULE, THE PLAN CONDITIONS SHALL GOVERN.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES PRIOR TO BIDDING.
 - SUBSTITUTIONS IN PLANT TYPE OR SIZE SHALL ONLY BE MADE WITH THE PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK.
 - WHEREVER MULCH IS PLACED, IT SHALL BE TREATED WITH A PRE-EMERGENT WEED CONTROL IN ACCORDANCE WITH THE PRODUCT APPLICATION INSTRUCTIONS.
 - ALL PLANTINGS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
 - PLANTER WALLS SHALL BE OF A COLOR AND MATERIAL TO MATCH THE ARCHITECTURE.
- B. MATERIALS**
- TOPSOIL SHALL MEET THE STANDARDS OUTLINED IN SECTION 917.01 OF THE NJDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
 - ALL PLANTS SHALL BE PROVIDED IN THE SIZE, SPECIES, GENUS, AND VARIETY AS SPECIFIED ON THE PLANTING PLAN.
 - ALL PLANTS SHALL CONFORM TO THE STANDARDS CONTAINED IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 - ALL PLANTS SHALL BE FREE OF DISEASE, INSECTS, KNOTS, AND OTHER DEFORMITIES.
 - TREE CROWNS SHALL BE WELL BALANCED, SYMMETRICAL, AND TYPICAL FOR THE GENUS, SPECIES, AND CULTIVAR.
 - UNLESS OTHERWISE SPECIFIED, ALL TREES SHALL HAVE A SINGLE, RELATIVELY STRAIGHT, CENTRAL LEADER AND TAPERED TRUNKS.
 - PLANTS SHALL BE DELIVERED TO THE SITE NO MORE THAN 48 HOURS PRIOR TO PLANTING. WHEN PLANTS WILL NOT BE INSTALLED IMMEDIATELY UPON DELIVERY, THEY SHALL BE STORED IN A SHADED AREA, PROTECTED FROM DIRECT SUNLIGHT, AND THE ROOT BALLS WATERED REGULARLY TO PREVENT DRYING.
 - ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE TIME OF OWNER ACCEPTANCE.
- C. PLANTING**
- ALL PLANTS SHALL BE HANDLED AND TRANSPORTED TO PREVENT INJURIES DURING TRANSIT. DO NOT DROP OR DUMP PLANTS WHILE LOADING OR UNLOADING.
 - ALWAYS HANDLE PLANTS BY THE ROOTBALL. NEVER LIFT A PLANT BY THE TRUNK OR BRANCHES.
 - ALL SHRUB MASSGES ARE TO BE PLANTED IN A CONTINUOUS PLANTING BED.
 - ALL PLANTING BEDS SHALL BE TILLED TO A DEPTH OF 6" PRIOR TO INSTALLING PLANTS.
 - PRIOR TO PLANTING, ALL PLANTS SHALL BE PRUNED IN ACCORDANCE WITH ANSI A 300 TO PRESERVE THE NATURAL CHARACTER OF EACH PLANT. NEVER PRUNE OR REMOVE THE CENTRAL LEADER OF ANY TREE.
 - ALL PLANTS SHALL BE SET PLUMB IN THE PLANTING PITS AT THE SAME DEPTH AT WHICH THEY WERE GROWN IN THE NURSERY. THE ROOT FLARE OF ALL TREES SHALL BE VISIBLE.
 - AFTER PLACING BALLED AND BURLAPPED PLANTS INTO THE PLANTING PIT, BURLAP SHALL BE REMOVED FROM THE TOP 1/3 OF THE ROOTBALL PRIOR TO, OR WHILE, BACKFILLING THE PLANTING PIT. THE TOP RING OF ANY WIRE BASKETS SHALL BE CUT AND REMOVED.
 - UNLESS SPECIFIED ELSEWHERE, ALL PLANTING PITS SHALL BE BACKFILLED WITH A MIXTURE OF 70% NATIVE SOIL AND 30% TOPSOIL.
 - BACKFILL SHALL BE PLACED IN 6" LIFTS. EACH LIFT SHALL BE WATERED IN AND LET SETTLE PRIOR TO PLACING THE NEXT LIFT.
 - TREES SHALL BE GUYED AND STAKED IN AREAS WITH HIGH WINDS, SATURATED SOILS, STEEP SLOPES, OR OTHER CONDITIONS WHICH WARRANT SUPPORT.
 - ALL TREES SHALL BE MULCHED TO A DEPTH OF 2" TO THE LIMIT OF THE PLANTING PIT. MULCH CIRCLE SHALL RESEMBLE A SAUCER. NO MULCH SHALL BE PLACED WITHIN 3" OF THE TREE TRUNK.



PLANTING PLAN



1 SHRUB PLANTING
N.T.S

324933.01-01



BML STUDIO LLC
PHONE: (609) 994-2637
EMAIL: BLEFF@BMLSTUDIO.COM

NI AUTHORIZATION: MB00099

BRIAN M. LEFF, L.L.A., P.P.
REGISTERED LANDSCAPE ARCHITECT 214009906

110 FIRST AVENUE

LOT 1 BLOCK 3904
101 FIRST AVENUE
CITY OF ASBURY PARK
MONMOUTH COUNTY, NEW JERSEY

LANDSCAPE PLAN

No.	Date	Description	By
1	11/20/24	Revised per TRC	BL

Project Number	2405001
Date	05/20/24
Scale	1"=20'

Disclosure of Political Contributions Certification

I, Robert Curley, Colliers Engineering, of full ages does hereby certify
(Name)

1. I am the applicant or (**Engineer**, Architect, Planner, Attorney at Law, of the State of New Jersey engaged by Asbury Partners LLC, which entity has made an application to the Asbury Park (Planning Board or Zoning Board of Adjustment) for site plan approval associated with a Parking Garage and Residential Development located at 110 First Avenue Block 3904, Lot 1 Asbury Park, New Jersey, owned by Asbury Partners LLC to represent said Applicant in this matter.

2. I have never made any political contributions to any elected official of the City of Asbury Park in conjunction with this Application or any other Application (or I have made the following contributions to the elected officials of the City of Asbury Park).

I hereby certify that the foregoing statements are true and I am aware that if any of the following statements made by me is willfully false I am subject to punishment.

Robert J. Curley
(Printed Name)


(Signature)



Date: June 24, 2024

Disclosure of Political Contributions Certification

I, Brian A. Cheripka, with Starfield Companies, of full ages does hereby certify
(Name)

1. I am the applicant or (Engineer, Architect, Planner, Attorney at Law, of the State of New Jersey engaged by Asbury Partners LLC, which entity has made an application to the Asbury Park (Planning Board or Zoning Board of Adjustment) for site plan approval associated with a Parking Garage and Residential Development located at 110 First Avenue Block 3904, Lot 1 Asbury Park, New Jersey, owned by Asbury Partners LLC to represent said Applicant in this matter.

2. I have never made any political contributions to any elected official of the City of Asbury Park in conjunction with this Application or any other Application (or I have made the following contributions to the elected officials of the City of Asbury Park).

I hereby certify that the foregoing statements are true and I am aware that if any of the following statements made by me is willfully false I am subject to punishment.

Brian A. Cheripka

(Printed Name)

Brian A. Cheripka

(Signature)

Date: June 24, 2024

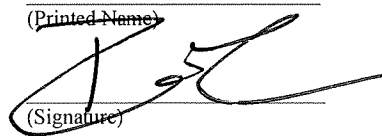
Disclosure of Political Contributions Certification

I, David Furgal, with Starfield Companies, of full ages does hereby certify
(Name)

1. I am the applicant or (Engineer, Architect, Planner, Attorney at Law, of the State of New Jersey engaged by Asbury Partners LLC, which entity has made an
(applicant's name) application to the Asbury Park (Planning Board or Zoning Board of Adjustment) for site plan approval
(site plan, variance, subdivision) associated with a Parking Garage and Residential Development located at 110 First Avenue
(address) Block 3904, Lot 1 Asbury Park, New Jersey, owned by Asbury Partners LLC to represent said Applicant
(owner) in this matter.

2. I have never made any political contributions to any elected official of the City of Asbury Park in conjunction with this Application or any other Application (or I have made the following contributions to the elected officials of the City of Asbury Park).

I hereby certify that the foregoing statements are true and I am aware that if any of the following statements made by me is willfully false I am subject to punishment.

DAVID FURGAL
(Printed Name)

(Signature)

Date: June 25, 2024

Disclosure of Political Contributions Certification

I, Frank Minervini, with MVMK Architecture, of full ages does hereby certify
(Name)

1. I am the applicant or (Engineer, **Architect**, Planner, Attorney at Law, of the State of New Jersey engaged by Asbury Partners LLC, which entity has made an
(applicant's name) application to the Asbury Park (Planning Board or Zoning Board of Adjustment) for site plan approval
(site plan, variance, subdivision) associated with a Parking Garage and Residential Development located at 110 First Avenue
(address) Block 3904, Lot 1 Asbury Park, New Jersey, owned by Asbury Partners LLC to represent said Applicant
(owner) in this matter.

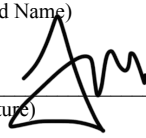
2. I have never made any political contributions to any elected official of the City of Asbury Park in conjunction with this Application or any other Application (or I have made the following contributions to the elected officials of the City of Asbury Park).

I hereby certify that the foregoing statements are true and I am aware that if any of the following statements made by me is willfully false I am subject to punishment.

Frank Minervini

(Printed Name)

(Signature)



Date: June 24, 2024

Disclosure of Political Contributions Certification

I, John Barree Heyer, Gruel & Associates, of full ages does hereby certify
(Name)

1. I am the applicant or (Engineer, Architect, **Planner**, Attorney at Law, of the State of New Jersey engaged by Asbury Partners LLC, which entity has made an application to the Asbury Park (Planning Board or Zoning Board of Adjustment) for site plan approval associated with a Parking Garage and Residential Development located at 110 First Avenue Block 3904, Lot 1 Asbury Park, New Jersey, owned by Asbury Partners LLC to represent said Applicant in this matter.
(applicant's name)
(site plan, variance, subdivision)
(address)
(owner)

2. I have never made any political contributions to any elected official of the City of Asbury Park in conjunction with this Application or any other Application (or I have made the following contributions to the elected officials of the City of Asbury Park).

I hereby certify that the foregoing statements are true and I am aware that if any of the following statements made by me is willfully false I am subject to punishment.

JOHN BARREE
(Printed Name)

[Signature]
(Signature)

Date: June 25, 2024

Disclosure of Political Contributions Certification

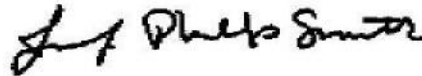
I, Jennifer Phillips Smith, with Gibbons P.C., of full ages does hereby certify
(Name)

1. I am the applicant or Attorney at Law, of the State of New Jersey engaged by Asbury Partners LLC, which entity has made an
(applicant's name)
application to the Asbury Park Planning Board for site plan approval
associated with a Parking Garage and Residential Development located at 110 First Avenue
(address)
Block 3904, Lot 1 Asbury Park, New Jersey, owned by Asbury Partners LLC to represent said Applicant
(owner)
in this matter.

2. I have never made any political contributions to any elected official of the City of Asbury Park in conjunction with this Application or any other Application.

I hereby certify that the foregoing statements are true and I am aware that if any of the following statements made by me is willfully false I am subject to punishment.

Jennifer Phillips Smith
(Printed Name)



(Signature)

Date: June 24, 2024



Minutes
Meeting of the Municipal Council
Wednesday, March 11, 2026
REGULAR MEETING

I. Executive Session - 4:00 p.m.

A. 2026-139 Resolution Authorizing A Meeting Which Excludes The Public

1. Contract Negotiation

Boardwalk Bathrooms Project

Asbury Park Fire Headquarters

City Hall Boiler

2. Attorney-Client Privilege

II. Workshop Session - 6:00 p.m.

Call to Order/Roll Call

Attendee Name	Status
Mayor John Moor	Present
Deputy Mayor Amy Quinn	Present
Council member Angela Ahbez-Anderson	Present
Council member Eileen Chapman	Present
Council member Yvonne Clayton	Present
City Clerk, Anthony Cucci	Present
City Manager, Adam Cruz	Present
Deputy City Manager, Cassandra Dickerson	Absent
City Attorney, Kevin Starkey	Present

Silent Prayer/Moment of Reflection

Salute to the Flag

Announcement - Open Public Meetings Act

As to comply with the “Open Public Meetings Act,” Chapter 231, P.L. 1975, adequate Notice of this meeting has been provided in the following manner: The Annual Notice was forwarded to the Asbury Park Press, The Coaster and The Star Ledger on January 15, 2026, and posted on the bulletin board the same date. All notices are on file with the City Clerk.

Special Event Applications:

Director of Recreation, Leesha Floyd presented special events applications to Mayor and Council.

Items to be Presented:

Matters from City Council

Council member Ahbez-Anderson stated, Good Evening, and I would like to say congratulations and welcome all of the ladies here because this is Women’s History Month and we ladies are powerful, we are intelligent, we are beautiful, and we’ve been making history throughout the years. Happy Womens History month to you. In addition to that, I have something you all might be interested in doing. We had such a great time last year; it is our line dancing classes with our one and only instructor, Ms. Suzanne Parchment. Line dancing begins March 23rd, it runs through April 27th. Now it is only on Mondays and it is from 6:00PM, and no you’re not going to be outside. We are going to be at the Senior Center, so come on down, get your fans out, and get your boots down and start having some good times. And lastly, in 2023 I sponsored the project labor agreement so that union/not union can earn the prevailing wage. The Council and Mayor, we voted on that and that is the lay of the law here now. However, our former Governor Murphy, he changed the threshold, which was \$5 millions dollars, he has lowered it. I am going to ask Kevin, our attorney, to help me with the language, but I would like to make a motion to amend the current resolution that we have which is as at \$5 million, and he will give us more details on that if you would be so kind. That’s all for me, all of you have a really good night, and enjoy this nice weather while we have it.

Council member Chapman had no matters at this time.

Council member Clayton had no matters at this time

Deputy Mayor Quinn had no matters at this time.

Mayor Moor stated, Just another thank you to Casey and Joey Pallado and the Asbury Park Fishing Club and to all the recipients. And they all know if you don’t send Joey a thank-you note you don’t get a check next year.

Matters from City Manager

City Manager Adam E. Cruz had no matters at this time.

Matters from City Attorney

City Attorney, Kevin Starkey had no matters at this time.

III. Regular Meeting

A. Public Participation

A motion was made by Council member Clayton and seconded by Council member Chapman to open the meeting to the public. All were in favor.

The following members of the public spoke:

Mike Arvello made a comment about the Asbury Park Fishing club and Asbury’s historical structures. Matthew Whalen made a comment about upcoming Chamber of Commerce Events. Caitlyn Dabney and Kristen O’Meara made a comment about communication with Madison Marquette.

A motion to close the meeting to the public was made by Mayor Moor and seconded by Council member Chapman. All were in favor.

B. Minutes

RESULT: Passed
MOVER: Council member Eileen Chapman
SECONDER: Council member Yvonne Clayton
AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton
NAYS: None

Executive Meeting Minutes: February 25, 2026

Regular Meeting Minutes: February 25, 2026

C. Consent Agenda Resolutions

All matters listed on the Consent Agenda are presented collectively to the City Council, and will be considered for approval with one vote. These matters are considered to be routine in nature, and there will be no individual discussion of these items. If discussion is desired by one or more Council member(s) as to any particular item(s), then said item(s) shall be removed from the Consent Agenda and considered separately

RESULT: Passed
MOVER: Council member Eileen Chapman
SECONDER: Deputy Mayor Amy Quinn
AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS:

None

2026-140 Resolution Approving Special Event Applications

2026-141 Resolution Approving a Person to Person Liquor License Transfer of Plenary Retail License Number 1303-33-009 From Asbury Music Company Inc. to Newberry Liquor License, LLC

2026-142 Resolution Authorizing the Installation of Streetlight Footings and Electrical Conduit on Bond Street, between Sunset Avenue and 5th Avenue

2026-143 Resolution Approving The City's Fourth Round Affordable Housing Trust Fund Spending Plan City Of Asbury Park, County Of Monmouth, State Of New Jersey

2026-144 Resolution Of Intent To Fund The City's Fourth Housing Affordable Housing Programs As Per The Round 4 2025 Housing Element And Fair Share Plan City Of Asbury Park, County Of Monmouth, State Of New Jersey

2026-145 Resolution Adopting An Affirmative Marketing Plan For Affordable Housing Units City Of Asbury Park, County Of Monmouth, State Of New Jersey

2026-146 Resolution Authorizing Appointments to the Public Art Commission

2026-147 Resolution Authorizing The Purchase Of Fire Department Equipment From Firefighter 1 With Community Development Block Grant (CDBG) Funds

2026-148 Resolution Authorizing Funding To Community Affairs Resource Center For The Administering Of Rental & Utility Assistance With Community Development Block Grant (CDBG) Funding

2026-149 Resolution Authorizing Funding To Interfaith Neighbors For The Administering Of Home Repair And Renovation Program With Community Development Block Grant (CDBG) Funding

D. Individual Resolutions

2026-150 Resolution Authorizing Payment Of Bills

PO# 24-05321 & 25-01769 were pulled from the bill list.

RESULT: Passed

MOVER: Council member Angela Ahbez-Anderson

SECONDER: Council member Eileen Chapman

AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela

Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None

2026-151 Resolution Authorizing The Mayor And City Council To Execute A Discharge Of Mortgage For Calvin & Angela Anderson For Property Located At 405 First Avenue, Asbury Park

RESULT: Passed

MOVER: Council member Yvonne Clayton

SECONDER: Deputy Mayor Amy Quinn

AYES: Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None

2026-152 Resolution Authorizing Payment To S Brothers Inc. For Snow Removal

RESULT: Passed

MOVER: Council member Eileen Chapman

SECONDER: Deputy Mayor Amy Quinn

AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None

2026-153 Resolution Authorizing An Application To The New Jersey Urban Enterprise Zone Authority For Zone Assistance Funds In The Amount Of \$50,000 To Establish An Urban Enterprise Zone Sponsored 4Th Of July Fireworks Program

RESULT: Passed

MOVER: Deputy Mayor Amy Quinn

SECONDER: Council member Angela Ahbez-Anderson

AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None

2026-154 Resolution Authorizing a Professional Services Contract to CDM Smith for Engineering Services for Construction of Phase I Wastewater Treatment Plant Improvements

RESULT: Passed

MOVER: Council member Angela Ahbez-Anderson

SECONDER: Council member Yvonne Clayton

AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None
2026-155 Resolution Authorizing a Professional Service Contract with Archer & Greiner, P.C. for Professional Independent/Special Counsel Services to Interpret Various Redevelopment Agreements

RESULT: Passed
MOVER: Deputy Mayor Amy Quinn
SECONDER: Council member Yvonne Clayton
AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton
NAYS: None

2026-156 Resolution Awarding a Bid for the Asbury Park Beach Shower Station Project

The Resolution Was Adopted As Amended For The Account Of Payment To Be Paid From The Beach Utility Fund.

RESULT: Passed
MOVER: Council member Eileen Chapman
SECONDER: Council member Yvonne Clayton
AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton
NAYS: None

2026-157 Resolution Amending Temporary Budget Appropriations For 2026 Budget

RESULT: Passed
MOVER: Council member Eileen Chapman
SECONDER: Council member Angela Ahbez-Anderson
AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton
NAYS: None

E. Ordinances

1. Introduction

2026-7 2026 CAP Rate Ordinance

RESULT: Passed - Introduced 3/11/2026
MOVER: Deputy Mayor Amy Quinn
SECONDER: Council member Eileen Chapman
AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela

Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None

2026-8 Ordinance Of The City Of Asbury Park Amending The City Code To Re-Locate The Tree Removal And Replacement Ordinance Into A New Chapter 23, To Be Entitled “Tree Removal And Replacement” And To Make Minor Changes

RESULT: Passed - Introduced 3/11/2026

MOVER: Deputy Mayor Amy Quinn

SECONDER: Council member Angela Ahbez-Anderson

AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None

2. Public Hearing/Second Reading

2026-6 Ordinance Establishing A Restricted Parking Space For Use By Handicapped Persons At The Property Located At 9 Avenue A In The City Of Asbury Park, And Amending And Supplementing Section 7-36, Entitled, “Handicapped Parking,” Of Chapter VII, “Traffic,” Of The “Revised General Ordinances Of The City Of Asbury Park, New Jersey.”

A motion to open 2026-6 to the public was made by Council member Chapman and seconded by Deputy Mayor Quinn. All were favor.

No members of the public spoke.

A motion to close 2026- 6 t o the public was made by Council member Chapman and seconded by Deputy Mayor Quinn. All were in favor.

RESULT: Passed

MOVER: Council member Yvonne Clayton

SECONDER: Council member Angela Ahbez-Anderson

AYES: Mayor John Moor, Deputy Mayor Amy Quinn, Council member Angela Ahbez-Anderson, Council member Eileen Chapman, Council member Yvonne Clayton

NAYS: None

F. Adjournment

The meeting was adjourned at 6:42 PM

A motion to close the meeting was made by Council member Chapman and Council member Clayton. All were in favor.

Respectfully submitted by:

Anthony Cucci, City Clerk



RESOLUTION - 2026-159

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION APPROVING SPECIAL EVENT APPLICATIONS

WHEREAS, at work session meeting of the Mayor and Council held on March 25, 2026 the following Special Events Applications were presented for approval by the Director of Recreation:

1. National Day of Prayer
2. Service in the Park-Springwood Park
3. Greensbury Park
4. Wedding: 4/18

WHEREAS, the Mayor and Council have determined to approve said applications, so long as all requirements of the City's "Special Events" Ordinance (Section 4-10 of the City Code) have been satisfied by the respective applicants, as well as any other requirements imposed by the City's Police Department and/or Special events Committee.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Council of the City of Asbury Park, in the County of Monmouth, State of New Jersey, that all the above referenced Special Events Applications are hereby approved, so long as all requirements of the City's "Special Events" Ordinance (Section 4-10 of the City Code) have been satisfied by the respective applicants, as well as any other requirements imposed by the City's Police Department and/or Special events Committee.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-___ which was finally adopted by the City Council at a meeting held on the ___ day of ___, 2026

CERTIFIED BY ME THIS ___ DAY OF ___, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



Date Application Received: _____
Application Fee Paid: _____

CITY OF ASBURY PARK

SPECIAL EVENT APPLICATION FORM

Please complete the following information as required by City Ordinance 2021-6 General Licensing: 4-10

All applications and appropriate application fees are to be received by the Asbury Park Special Events Department no less than 30 days prior to the event for which the permit is being requested. Application fees are non-refundable. Applications should be emailed to: Leesha.floyd@cityofasburypark.com (732-502-5759) or mailed to the Department of Special Events 1 Municipal Plaza Asbury Park, NJ 07712 Attn: Leesha Floyd.

- All applications must be reviewed by the Special Events Committee. This may require the organizer/applicant to attend one or more special event meetings.
- Applications must be formally approved by the City Council after initial approval from the Special Events Committee.
- A **refundable** \$500.00 deposit may be required in connection with events held on City property in case of damage.
- A certificate of insurance naming the City of Asbury Park (1 Municipal Plaza Asbury Park, NJ 07712) its officers, employees, contractors, agents and representatives harmless from and against any and all liability. Minimum liability coverage of one million dollars (for some events more coverage will be required) must be provided 10 days prior to event. The applicant name/organization on insurance must match the applicant name/organization completing the application.

All fees and certificate of insurance must be submitted 10 days prior to the event. Failure to do so can result in the termination of your event.

Date of Event: May 7, 2026 Rain Date: May 11th 2026
 Time of Event: 12:00 to 1:00pm Setup time: 11:45 Break-down time: 1:00pm
 Name of Event: National Day of Prayer
 Location of Event: 1 Municipal Plaza City Hall

Type of Event (check all that apply):

- | | | |
|--|--------------------------------------|---|
| <input type="checkbox"/> Festival | <input type="checkbox"/> Parade | <input type="checkbox"/> Foot Race |
| <input type="checkbox"/> Wedding* | <input type="checkbox"/> Beach Event | <input type="checkbox"/> Concert |
| <input type="checkbox"/> Bike Ride/Race | <input type="checkbox"/> Triathlon | <input type="checkbox"/> Multi Day Event |
| <input type="checkbox"/> Rally/Demonstration | <input type="checkbox"/> Swim Event | <input checked="" type="checkbox"/> Other: <u>Holiday Observation</u> |

***Wedding applicants only need to complete page 6.**



Date Application Received: _____
Application Fee Paid: _____

CITY OF ASBURY PARK SPECIAL EVENT APPLICATION

Please complete the following information as required by City Ordinance 2023-15 General Licensing: 4-10

All applications and appropriate application fees are to be received by the Asbury Park Special Events Department no less than 30 days prior to the event for which the permit is being requested. Application fees are non-refundable. Applications should be emailed to: Leesha.floyd@asburypark.gov (732-502-5759) or mailed to the Department of Special Events 1 Municipal Plaza Asbury Park, NJ 07712 Attn: Leesha Floyd.

- All applications must be reviewed by the Special Events Committee. This may require the organizer/applicant to attend one or more special event meetings.
- A refundable security deposit in the amount of \$500, or such other amount as determined by the City may be required to be posted to cover any damage to City property which may be occasioned as a result of the special event.
- Insurance Coverage: All permit holders must submit liability insurance coverage in the minimum amount of \$1,000,000; however, the City may require an increase in the amount of liability insurance coverage depending upon the size, scope and nature of the event planned. The City of Asbury Park, its officers, employees, agent and representatives must be named as additional insured parties on the policy. Proof of said insurance coverage shall be provided to the City at least 10 days prior to the event.
- Indemnification: All permit holders shall defend, indemnify and hold the City of Asbury Park, its officers, employees, contractors, agents and representatives, including but not limited to the City's insurance carrier, risk manager and professionals harmless from and against any and all liability for claims, demands, damages, suits, judgements, fines, losses and expenses of any nature, which are sustained as a result of the event and shall execute an indemnification and hold harmless agreement in a form acceptable to the City prior to the event

All fees and certificate of insurance must be submitted 10 days prior to the event. Failure to do so can result in the termination of your event.

Name of Event: service in the park

Date of Event: 6/14/26 Rain Date: TBD

Time of Event: 8am to 2pm Setup time: 7am Break-down time: 3pm

Location of Event: Springwood Park

Type of Event (check all that apply):

- | | | |
|--|--------------------------------------|---|
| <input type="checkbox"/> Festival | <input type="checkbox"/> Parade | <input type="checkbox"/> Foot Race |
| <input type="checkbox"/> Wedding* | <input type="checkbox"/> Beach Event | <input type="checkbox"/> Concert |
| <input type="checkbox"/> Bike Ride/Race | <input type="checkbox"/> Triathlon | <input type="checkbox"/> Multi Day Event |
| <input type="checkbox"/> Rally/Demonstration | <input type="checkbox"/> Swim Event | <input checked="" type="checkbox"/> Other: <u>worship service</u> |

***Wedding applicants only need to complete page 6 & 7.**

Date Application Received: _____
 Application Fee Paid: _____



CITY OF ASBURY PARK SPECIAL EVENT APPLICATION

Please complete the following information as required by City Ordinance 2023-15 General Licensing: 4-10

All applications and appropriate application fees are to be received by the Asbury Park Special Events Department no less than 30 days prior to the event for which the permit is being requested. Application fees are non-refundable. Applications should be emailed to: Leesha.floyd@asburypark.gov (732-502-5759) or mailed to the Department of Special Events 1 Municipal Plaza Asbury Park, NJ 07712 Attn: Leesha Floyd.

- All applications must be reviewed by the Special Events Committee. This may require the organizer/applicant to attend one or more special event meetings.
- A refundable security deposit in the amount of \$500, or such other amount as determined by the City may be required to be posted to cover any damage to City property which may be occasioned as a result of the special event.
- Insurance Coverage: All permit holders must submit liability insurance coverage in the minimum amount of \$1,000,000; however, the City may require an increase in the amount of liability insurance coverage depending upon the size, scope and nature of the event planned. The City of Asbury Park, its officers, employees, agent and representatives must be named as additional insured parties on the policy. Proof of said insurance coverage shall be provided to the City at least 10 days prior to the event.
- Indemnification: All permit holders shall defend, indemnify and hold the City of Asbury Park, its officers, employees, contractors, agents and representatives, including but not limited to the City's insurance carrier, risk manager and professionals harmless from and against any and all liability for claims, demands, damages, suits, judgements, fines, losses and expenses of any nature, which are sustained as a result of the event and shall execute an indemnification and hold harmless agreement in a form acceptable to the City prior to the event

All fees and certificate of insurance must be submitted 10 days prior to the event. Failure to do so can result in the termination of your event.

Name of Event: GREENSBURY PARK 2026
 Date of Event: 7-18-26 Rain Date: 8-1-26
 Time of Event: 12:00 to 5:00pm Setup time: 10 AM Break-down time: 5:00 PM
 Location of Event: SUNSET LAKE, ST. JOHN'S ISLAND, GRAND TO BOND.

Type of Event (check all that apply):

- | | | |
|--|--------------------------------------|---|
| <input type="checkbox"/> Festival | <input type="checkbox"/> Parade | <input type="checkbox"/> Foot Race |
| <input type="checkbox"/> Wedding* | <input type="checkbox"/> Beach Event | <input type="checkbox"/> Concert |
| <input type="checkbox"/> Bike Ride/Race | <input type="checkbox"/> Triathlon | <input type="checkbox"/> Multi Day Event |
| <input type="checkbox"/> Rally/Demonstration | <input type="checkbox"/> Swim Event | <input type="checkbox"/> Other: <u>open Community Event</u> |

*Wedding applicants only need to complete page 6 & 7.



CITY OF ASBURY PARK WEDDING CEREMONY APPLICATION

Beach/Park Rental Fee: \$750 (up to 3 hours)

Make checks payable to "The City of Asbury Park" 1 Municipal Plaza AP, NJ 07712 Attn: Leesha Floyd

For more info, please email: Leesha.Floyd@asburypark.gov

Between Memorial Day and Labor Day, 6pm is the earliest ceremonies can begin on any beach.

- Insurance Coverage: All permit holders must submit liability insurance coverage in the minimum amount of \$1,000,000; however, the City may require an increase in the amount of liability insurance coverage depending upon the size scope and nature of the event planned. The City of Asbury Park, its officers, employees, agent and representatives must be named as additional insured parties on the policy. Proof of said insurance coverage shall be provided to the City at least 10 days prior to the event.
- Indemnification: All permit holders shall defend, indemnify and hold the City of Asbury Park, its officers, employees, contractors, agents and representatives harmless from and against any and all liability for claims, demands, damages, suits, judgements, fines, losses and expenses of any nature, which are sustained as a result of the event and shall execute an indemnification and hold harmless agreement in a form acceptable to the City prior to the event
 - Alcohol is prohibited on City beaches
 - Firework displays are prohibited w/o pre-approval from the City & proper documentation being provided to the City
 - Applications and fees must be received by the Special Events Department 30 days prior to your event

Wedding Date: 04/18/26 Ceremony start time: 6:00 pm End time: 7:00 pm
Setup time: 4:00 pm (breakdown and cleanup must be within 2 hours of the conclusion of the ceremony)

Location of Ceremony: Asbury Park (Right on the beach) 3rd Ave Beach

YES NO Will reserved parking spaces be requested? If so, how many spaces _____ where _____ . Please visit www.cityofasburypark.com to purchase parking spaces (waterfront spaces cannot be reserved between Memorial Day & Labor Day) All parking requests must be made and paid for 10 business days prior to event.

Applicant 1- Name & Address: Maria Villa - 3 Oxford Rd, Wharton, NJ 07885

Contact #: 862-355-9168 Email Address: mavicampestre@gmail.com

Applicant 2- Name & Address: Randy Hoy - 309 Washington Ave Apt N-1, Dover, NJ 07801

Contact #: 862-409-9543 Email Address: randyvelandia10c@gmail.com

of people in wedding party: 20-30 # of people attending wedding: 20-30



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-160

Resolution authorizing payment to S Brother for snow removal on February 22, 2026 totaling \$20,280 utilizing storm recovery trust funds.



RESOLUTION - 2026-160

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION AUTHORIZING PAYMENT TO S BROTHERS INC. FOR SNOW REMOVAL

WHEREAS, the City of Asbury Park received an invoice from S Brothers, Inc for snow removal on February 22, 2026; and

WHEREAS, the total price of the project is \$20,280.00 and is attached to this Resolution; and

WHEREAS, the City of Asbury Park is desirous of authorizing payment to S Brothers, Inc. for snow removal on February 22, 2026, in the amount of \$20,280.00; and

WHEREAS, the Chief Financial Officer has certified that funds are available in the following account: T-20-56-850-932-301. The maximum dollar value of the pending contract is as set forth in the resolution.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Council of the City of Asbury Park (the "City"), in the County of Monmouth, State of New Jersey authorizes payment to S Brothers, Inc. in the amount of \$20,280.00 for snow removal on February 22, 2026 and a copy of this Resolution shall be provided to the City Manager, CFO, Director of Public Works and Director of Purchasing.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-__ which was finally adopted by the City Council at a meeting held on the __ day of __, 2026

CERTIFIED BY ME THIS __ DAY OF __, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK

S BROTHERS INC.

PO Box 317
 South River NJ 08882

Invoice

Date	Invoice #
2/27/26	4020

Bill To
City of Asbury Park One Municipal Plaza Asbury Park, NJ 07712

P.O. No.	Terms	Project
	1st voucher	

Item	Description	Qty	Rate	Previous Qty	Total Qty to...	Amount
Project: Asbury Park - Snow - 2/22/2026						
1	Hour - 1 pick up w/ plow	24	290.00	0	24	6,960.00
2	Hour - 1 pick up w/ plow	24	290.00	0	24	6,960.00
3	Hour - 1 front end loader	24	265.00	0	24	6,360.00

It's been a pleasure working with you!			Total	\$20,280.00
email: SBrothers1@hotmail.com 732-446-0076 fax 732-446-3390 phone			Payments/Credits	\$0.00
			Balance Due	\$20,280.00

Tracy Lizardi

From: George Phipps
Sent: Sunday, February 22, 2026 12:34 PM
To: Tracy Lizardi; JoAnn Boos
Subject: 2026 Snow Storm

Good afternoon,

I hope all is well.

I wanted to let you know that since the snow totals raised to 20 – 28”. I had a conversation with the contractor S. Brothers. The contractor will be able to assist us with this storm with four trucks with plows. We will also have a front - end loader from them as well, due to our back hoe being out of service with major repairs. I will forward that quote at a later date for the back hoe repairs. If you need anything from me at this time, please let me know.

George,



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-161

Resolution authorizing the purchase of an industrial-strength personal protective equipment (PPE) washer-extractor for the Fire Department in the amount of \$11,885.54 utilizing capital funds.



RESOLUTION - 2026-161

**City of Asbury Park
County of Monmouth
State of New Jersey**

**RESOLUTION AUTHORIZING THE PURCHASE OF A PPE WASHER-EXTRACTOR FOR THE
FIRE DEPARTMENT**

WHEREAS, the City of Asbury Park ("City") has a need to purchase an industrial-strength personal protective equipment (PPE) washer-extractor for the Fire Department; and

WHEREAS, the City has solicited and obtained quotes from PAC Industries, LLC, Appliance Brokers of Asbury Park, Inc. and Fowler Equipment Co., Inc.; and

WHEREAS, the City of Asbury Park is desirous of awarding a contract for the purchase of an industrial-strength personal protective equipment (PPE) washer-extractor for the Fire Department to PAC Industries, LLC in the amount of \$11,885.54; and

WHEREAS, the Chief Financial Officer has certified that funds are available in the following account: C-04-55-998-176-001. The maximum dollar value of the pending contract is as set forth in the resolution.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Council of the City of Asbury Park (the "City"), in the County of Monmouth, State of New Jersey authorize the purchase of an industrial-strength personal protective equipment (PPE) washer-extractor for the Fire Department in the amount of \$11,885.54 and a copy of this Resolution shall be provided to the Fire Chief, City Manager, CFO and Purchasing Agent.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-___ which was finally adopted by the City Council at a meeting held on the ___ day of ___, 2026

CERTIFIED BY ME THIS ___ DAY OF ___, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



Agreement Of Sale

Agreement Number: 2025018
 Sales Rep: Thomas F. Fogarty

5341 Jaycee Ave, Harrisburg, PA 17112
 PHONE: 800-692-6214

Date: 2/12/2026

Sold To:
 12-0003914
 CITY OF ASBURY PARK FIRE DEPT
 800 MAIN STREET
 ASBURY PARK, NJ 07712
Contact: FRANK DILELLO
Email: raymond.dilello@asburyparkfd.gov

Ship To:
 ASBURY PARK FIRE DEPARTMENT
 200 MEMORIAL DR
 ASBURY PARK, NJ 07712

Phone: 732-492-0711
Fax:

QTY	Item Number	Price	Amount
1.00	DX-9999-763-001 WN0600XB-12EV4X-SSKCS-USX DEXTER T-600 40 LB CAP W/E HEAVY DUTY BEARINGS IN A CAST IRON HOUSING; WELDED STEEL SPIDER SHAFT; CHROME POLISHED DOOR; AISI 304 STAINLESS STEEL TUB, CYLINDER, TOP, FRONT AND SIDE PANELS; 6 CYCLE CONTROL PROVIDE A FLEXIBLE AND EASY TO USE CONTROL WITH 6 PRE-SET CYCLES THAT ARE FIELD PROGRAMMABLE; CYLINDER 6.0 CU. FT. VOLUME; 2 HP MOTOR; 532 RPM HIGH EXTRACT; 100 G FORCE; 3/4 INCH WATER INLET; 3IN DRAIN. VOLTAGE: 208-240/60/1 OR 3	8,152.21	8,152.21
1.00	BS-DXT600-8X1 OPTION: 8IN HIGH STEEL MOUNTING BASE FOR DEXTER T600 W/E	533.33	533.33
1.00	/DELIVERY 5 WASHER COMPANY RESPONSIBILITIES: DELIVERY TO JOB SITE, UNCRATING, RIGGING INTO POSITION, LEVELING, AND MOUNTING TO THE CUSTOMER'S EXISTING CONCRETE FLOOR USING AN INDUSTRY STANDARD ANCHOR BOLT AND GROUT PROCEDURE (IF APPLICABLE); PERFORM A COMPLETE START-UP AND IN-SERVICE PROCEDURES WITH AVAILABLE PERSONNEL; REMOVAL AND DISPOSAL OF OLD EQUIPMENT AS SPECIFIED BY THIS AGREEMENT. CUSTOMER'S RESPONSIBILITIES: TO PROVIDE SAFE AND ADEQUATE ACCESS TO THE DESIGNATED EQUIPMENT LOCATION (I.E., HALLWAYS AND DOOR OPENINGS, ETC.); TO PROVIDE ADEQUATE CONCRETE FOUNDATION OR FLOOR STRUCTURE FOR A SECURE MOUNTING OF THE PROPOSED EQUIPMENT; TO SUPPLY AND INSTALL ALL UTILITY CONNECTIONS, I.E., WATER, GAS, ELECTRIC, DRAIN, MAKE-UP AIR, EXHAUST, COMPRESSED AIR (WHICHEVER APPLIES); TO BE RESPONSIBLE FOR ANY LOCAL OR STATE PERMITS AND FEES IF APPLICABLE. (INITIALS: ___)	3,200.00	3,200.00

Continued



Agreement Of Sale

Agreement Number: 2025018
Sales Rep: Thomas F. Fogarty

5341 Jaycee Ave, Harrisburg, PA 17112
PHONE: 800-692-6214

Date:2/12/2026

Sold To:
12-0003914
CITY OF ASBURY PARK FIRE DEPT
800 MAIN STREET
ASBURY PARK, NJ 07712
Contact: FRANK DILELLO
Email: raymond.dilello@asburyparkfd.gov

Ship To:
ASBURY PARK FIRE DEPARTMENT
200 MEMORIAL DR
ASBURY PARK, NJ 07712
Phone: 732-492-0711
Fax:

Table with columns: QTY, Item Number, Price, Amount. Includes extra details: DEXTER LIMITED PARTS WARRANTY: WASHERS - 3/10 YEARS, LABOR WARRANTY: 90 DAYS, PRICES VALID FOR 15 DAYS FROM THE DATE ON THIS AGREEMENT

Terms:50% DOWN, 50% NET 10 DAYS; Initial ()

Sub Total: 11,885.54
Sales Tax: 0.00
Order Total: 11,885.54

Acceptance of Sales and Terms - The above prices, specifications and conditions are satisfactory and hereby accepted. The Buyer also agrees to the attached terms and conditions. The Buyer accepts those terms and conditionof sales and any and all representations, written and oral made by Seller and incorporated herein. Also including ("Company") rights after notice to Buyer of certain remedies in the ventr of Buyer's non payment of full purchase price.

Date of Acceptance:
Buyer:

Thomas F. Fogarty
(Company)

By: Title:

By: Title:

Quote

Asbury - Showroom
 1001 Asbury Ave
 Asbury Park, NJ 07712-5809

13515



Quote Date: 07/26/2025
 Date Desired: N/A
 Sales Associate: Kevin Macan
 Job Name: N/A
 Exp Date: 08/25/2025 Job #: N/A
 Customer PO: N/A Permit #: N/A
 Next Call: N/A



info@ablsales.com

Sold To: 3882 Asbury Park Fire Department 800 Main Street Asbury Park, NJ 07712 P: 732-502-0186 Contact: Kevin Keddy Fire Chief, NJ (732) 502-0186 fire@cityofasburypark.com	Ship To: 3882 Asbury Park Fire Department 800 Main Street Asbury Park, NJ 07712 P: 732-502-0186 Contact: Kevin Keddy Fire Chief, NJ (732) 502-0186 fire@cityofasburypark.com	<i>WHSE NOTES</i>	<i>DELIVERY NOTES</i>
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Notes: Bill To: Terms:Net 5 Days TaxAuth:TAX EXEMPT

#	Brand	Model Number	Description	Unit Price	Qty	Ext. Price
1	ABL	NOTE	UNABLE TO QUOTE COMMERCIAL PPE 45LB EXTRACTOR	\$0.00	1	\$0.00
2	ABL	NOTE	UNABLE TO QUOTE 4-6 PPE SET CABINET DRYER	\$0.00	1	\$0.00

I _____ agree to the terms and conditions

SubTotal	\$0.00
Sales Tax	\$0.00
Sales Total	\$0.00



Agreement Of Sale

Agreement Number: 2026316
Sales Rep: Thomas F. Fogarty

5341 Jaycee Ave, Harrisburg, PA 17112
PHONE: 800-692-6214

Date:3/5/2026

Sold To:
12-0003914
CITY OF ASBURY PARK FIRE DEPT
800 MAIN STREET
ASBURY PARK, NJ 07712

Ship To:
ASBURY PARK FIRE DEPARTMENT
200 MEMORIAL DR
ASBURY PARK, NJ 07712

Contact: CHIEF KEVIN KEDDY
Email: kevin.keddy@asburyparkfd.gov

Phone: 848-207-0534
Fax:

Table with 4 columns: QTY, Item Number, Price, Amount. Row 1: 1.00, /MISC INSTALL, 4,225.00, 4,225.00. Description: DISMOUNT A UNIMAC WASHER AT THE OLD FIREHOUSE AND MOVE IT TO THE NEW FIREHOUSE AND ANCHOR AND GROUT IT.

Extra Details: The customer is responsible to remove the utilities [water, electric and drain] from the washer and hook up utilities at the new location.

Extra Details: PRICES VALID FOR 15 DAYS FROM THE DATE ON THIS AGREEMENT

Terms:50% DOWN, 50% NET 10 DAYS; Initial ()

Sub Total: 4,225.00
Sales Tax: 0.00
Order Total: 4,225.00

Acceptance of Sales and Terms - The above prices, specifications and conditions are satisfactory and hereby accepted. The Buyer also agrees to the attached terms and conditions. The Buyer accepts those terms and conditions of sales and any and all representations, written and oral made by Seller and incorporated herein. Also including ("Company") rights after notice to Buyer of certain remedies in the ventr of Buyer's non payment of full purchase price.

Date of Acceptance:
Buyer:

Thomas F. Fogarty
(Company)

By: Title:

By: Title:



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-162

Amending Temporary Budget Appropriations For 2026 Budget



RESOLUTION - 2026-162

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION AMENDING TEMPORARY BUDGET APPROPRIATIONS FOR 2026 BUDGET

WHEREAS, N.J.S.A 40A:4-20 provides that the Governing Body by a 2/3 vote of the full membership thereof may make emergency temporary appropriations for any purpose for which appropriation may lawfully be made for the period between the beginning of the current fiscal year and the final adoption of the budget for the said year; and

WHEREAS, the previously adopted temporary budget did not provide sufficient funds for the operational costs prior to the final adoption of the 2026 budget.

See Attached.

NOW, THEREFORE BE IT RESOLVED by the Mayor and Council of the City of Asbury Park that the following Emergency Temporary Appropriation for the year 2026 be adopted and a certified copy of this resolution be provided to the City's Chief Financial Officer and the Director of Division of Local Government Services, Department of Community Affairs, State of New Jersey.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-__ which was finally adopted by the City Council at a meeting held on the ____ day of ____, 2026

CERTIFIED BY ME THIS ____ DAY OF ____, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK

2026 TEMPORARY BUDGET AMENDMENT

	From	To
Current Fund:		
General Admin SW	187,325	219,439
General Admin OE	104,091	121,934
Mayor and Council SW	14,364	16,826
Mayor and Council OE	1,715	2,009
Central Functions	18,375	21,525
Clerk SW	86,403	101,215
Clerk OE	42,875	50,225
Communication SW	31,345	36,719
Communication OE	8,400	9,840
Finance SW	92,051	107,830
Finance OE	166,915	195,529
Human Resources SW	33,699	39,483
Human Resources OE	10,297	12,062
Audit	22,751	26,650
Tax Collector SW	82,819	97,016
Tax Collector OE	10,851	12,710
Tax Assessor SW	42,700	50,020
Tax Assessor OE	44,695	52,357
Legal	140,000	164,000
Data Processing SW	37,045	43,396
APTV SW	11,725	13,735
APTV OE	8,400	9,840
Planning Dept. SW	112,351	131,610
Planning Dept. OE	31,692	37,126
Engineering	87,500	102,500
Health Insurance Opt Out	33,251	38,950
Unemployment Insurance	351	410
Liability Insurance	539,996	900,000
Workers Comp	581,000	900,000
Police SW	4,404,564	5,159,632
Police OE	181,024	212,052
Fire SW	2,578,100	3,020,060
Fire OE	120,076	140,661
Municipal Prosecutor	18,900	22,140
Streets and Roads SW	561,500	774,900
Streets and Roads OE	234,675	274,905
Solid Waste Collection SW	58,100	68,060
Solid Waste Collection OE	736,793	863,101
Buildings and Grounds SW	105,700	123,820
Buildings and Grounds OE	60,131	70,438
Social Services SW	81,900	95,940
Social Services OE	20,909	24,494
Senior Citizens SW	73,851	86,510
Senior Citizens OE	10,588	12,403
Parks and Recreation SW	107,100	125,460
Parks and Recreation OE	92,120	107,912
Municipal Court SW	134,400	157,440
Municipal Court OE	19,708	23,083
Public Defender	10,500	12,300
Construction Code SW	175,615	204,483
Code Enforcement SW	175,967	206,133
Code Enforcement OE	5,168	6,054
Street Lighting	129,500	151,700
Telephone	57,751	67,650
Gasoline	108,500	127,100
Light,Heat,Power	133,000	155,800
Fire Hydrant Rent	101,500	118,900
Social Security	420,000	492,000
Prior Years Bills	-	57,940
Maint. Free Public Library	374,751	438,994
BPP Due to Board of Education	39,289	46,025
Mon. County 911 Dispatch	252,777	296,111
HDSR Brownfield Grant	-	305,957

Sewer Operating Fund

Salaries and Wages	286,600	335,732
Other Expenses	674,625	790,275
NJEIT DEP and Admin Fees	5,250	8,200
Social Security	21,000	32,800

Beach Operating Fund

Salaries and Wages	627,776	735,130
Other Expenses	175,700	205,820
Social Security	19,688	30,750
Capital Improvements	-	430,000

Transportation Operating Fund

Salaries and Wages	347,200	406,720
Other Expenses	292,565	342,719
Social Security	10,500	16,400



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-163

Resolution Amending Resolution 2026-141, "Resolution Approving a Person to Person Liquor License Transfer of Plenary Retail License Number 1303-33-009 From Asbury Music Company Inc. to Newberry Liquor License, LLC" to place the license in pocket



RESOLUTION - 2026-163

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION AMENDING RESOLUTION 2026-141, "RESOLUTION APPROVING A PERSON TO PERSON LIQUOR LICENSE TRANSFER OF PLENARY RETAIL LICENSE NUMBER 1303-33-009 FROM ASBURY MUSIC COMPANY INC. TO NEWBERRY LIQUOR LICENSE, LLC"

WHEREAS, the City of Asbury Park (the "City") previously passed Resolution 2026-141 at the City Council Meeting of March 11, 2026, entitled "Resolution Approving a Person to Person Liquor License Transfer of Plenary Retail License Number 1303-33-009 From Asbury Music Company Inc. to Newberry Liquor License, LLC"; and

WHEREAS, the Mayor and Council wish to amend resolution 2026-141 in accordance with the provisions set forth herein.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and City Council of the City of Asbury Park, in the County of Monmouth and State of New Jersey, that Resolution 2026-141, entitled "Resolution Approving a Person to Person Liquor License Transfer of Plenary Retail License Number 1303-33-009 From Asbury Music Company Inc. to Newberry Liquor License, LLC," is hereby amended and supplemented as follows (additions are shown with underline and deletions are shown with ~~strikeout~~):

WHEREAS, an application has been filed for a Person-to-Person Transfer of Plenary Retail License Number 1303-33-009, heretofore issued to Newberry Liquor License, LLC ~~for premises at 601 Main Street in the City of Asbury Park, New Jersey~~ and placed in pocket, not assigned to any premises; and

WHEREAS, the submitted application form is complete in all respects, the transfer fees have been paid, and the license has been properly renewed for the current license term; and

WHEREAS, the applicant is qualified to be licensed according to all standards established by Title 33 of the New Jersey Statutes, regulations promulgated thereunder, as well as pertinent local ordinances and conditions consistent with Title 33; and

WHEREAS, the applicant has disclosed and the issuing authority reviewed the source of all

funds used in the purchase of the license and the licensed business and all additional financing obtained in connection with the license business.

NOW, THEREFORE BE IT RESOLVED that the City of Asbury Park City Council does hereby approve, effective immediately, the transfer of the aforesaid Retail License to Newberry Liquor License, LLC, “This license, subject to all its terms and conditions, is hereby transferred to Newberry Liquor License, LLC, effective immediately.”

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-__ which was finally adopted by the City Council at a meeting held on the __ day of __, 2026

CERTIFIED BY ME THIS __ DAY OF __, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-164

Payment of Bills \$13,967,891.58



RESOLUTION - 2026-164

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION AUTHORIZING PAYMENT OF BILLS

WHEREAS, The Following Listed Vouchers Payable Have Been Approved By The Chief Financial Officer And Have Subsequently Been Audited And Found Correct:

BE IT RESOLVED, That These Vouchers Payable Totaling \$13,967,891.58

BE IT FURTHER RESOLVED, That Proper Officers Are Hereby Authorized To Execute And Issue Warrants For Payment Of Said Vouchers, But Only If And When The Conditions Of The City Treasury Shall Permit.

CURRENT VOUCHERS	\$ 3,333,657.53
SCHOOL TAX	3,182,056.00
PENSIONS	<u>7,452,178.05</u>
 TOTAL VOUCHERS	 \$ <u>13,967,891.58</u>

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-___ which was finally adopted by the City Council at a meeting held on the ___ day of March, 2026

CERTIFIED BY ME THIS ___ DAY OF March, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK

Budget Account	Description					
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
5-01-25-240-000-222	POLICE Training		Account Continued			
Extd Total: POLICE DEPARTMENT				\$29,642.75		
Department Total: POLICE				\$29,642.75		
Department:FIRE DEPT.						
Extd:FIRE DEPARTMENT						
5-01-25-265-000-218	FIRE DEPT. Contract.Serv.					
ALFIRE	ALLIED FIRE & SAFETY EQUIPMEN	25-03904	PROPOSAL# AFS14366	\$1,900.00	\$0.00	
5-01-25-265-000-222	FIRE DEPT. Training					
SYSTE005	SYSTEMS DEFINITION, INC.	25-03077	Training-Accountability Soft.	\$4,989.00	\$0.00	
FISONS	FIS on Site Service LLC	25-03563	EST:SO-1542: Ladder 89 Repairs	\$1,691.44	\$0.00	
				\$6,680.44		
5-01-25-265-000-235	FIRE DEPT. Emp.New Hires					
SAFET	SKYLANDS AREA FIRE EQUIPMEN	25-03504	QUOTE#8538 - FD TURNOUT GEAR	\$1,648.87	\$0.00	
5-01-25-265-000-298	FIRE DEPT. Special Operations					
CONFIR	CONTINENTAL FIRE & SAFETY,INC.	25-03367	EST#25-2001	\$3,325.95	\$0.00	
CONFIR	CONTINENTAL FIRE & SAFETY,INC.	25-03694	EST:25-2482 Paratech 22-796685	\$1,398.40	\$0.00	
				\$4,724.35		
Extd Total: FIRE DEPARTMENT				\$14,953.66		
Department Total: FIRE DEPT.				\$14,953.66		
CAFR Total:				\$44,596.41		
Department:BUILDING & GND						
Extd:BUILDINGS & GROUNDS						
5-01-26-310-000-210	BUILDING & GND Building Repairs					
GRAING	GRAINGER	26-00675	2'x2' Led Lights 4pk	\$477.20	\$0.00	
Extd Total: BUILDINGS & GROUNDS				\$477.20		
Department Total: BUILDING & GND				\$477.20		
CAFR Total:				\$477.20		
Department:RECREATION						
Extd:RECREATION SERVICES & PROGRAM						
5-01-28-370-000-290	RECREATION Programs/Activities					
INTIMP	INITIAL IMPACT	25-03207	rec dept tent	\$1,141.95	\$0.00	
Extd Total: RECREATION SERVICES				\$1,141.95		
Department Total: RECREATION				\$1,141.95		
CAFR Total:				\$1,141.95		
Fund Total: CURRENT				\$49,378.44		

Fund:TRANSPORTATION UTILITY: BUDGET:

Department:UTILITY OE

Extd:TRANS.UTILITY O/E: OTHER EXPENSES:

Budget Account		Description					
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type	
5-06-55-502-000-212	TRANS.UTILITY O/E: Parking Meter Supply						
IPSGRO	IPS GROUP, INC.	25-03856	2025 Kiosk Parts Order	\$14,622.30	\$0.00		
5-06-55-502-000-221	TRANS.UTILITY O/E: Other Fees & Permits						
MERHEA	HACKENSACK MERIDIAN WORKS	26-00500	Employee Medical Services	\$1,584.00	\$0.00		
Extd Total: TRANS.UTILITY O/E: OTI				\$16,206.30			
Department Total: UTILITY OE				\$16,206.30			
CAFR Total:				\$16,206.30			
Fund Total: TRANSPORTATION UTIL				\$16,206.30			
Year Total:				\$65,584.74			
Fund:CURRENT							
Department:ADMINISTRATION							
Extd:ADMINISTRATION							
6-01-20-100-000-207	ADMINISTRATION Contractual						
DIFFE005	DIFFERENCE CARD	26-00681	Invoice 148735-AF March Fees	\$12,943.70	\$0.00		
6-01-20-100-000-209	ADMINISTRATION Professional Services						
INTIMP	INITIAL IMPACT	26-00257	Clothing supplies for Admin	\$314.00	\$0.00		
DILWO005	DILWORTH PAXSON, LLP	26-00620	Invoice 640616 Redevelopment	\$210.00	\$0.00		
KYLEM005	KYLE MCMANUS ASSOCIATES LLC	26-00644	Invoice 8228 Affordable Hsg.	\$1,155.00	\$0.00		
CGPHL005	CGP&H, LLC	26-00700	INVOICE #56278 HOUSING REHAB	\$950.00	\$0.00		
				\$2,629.00			
6-01-20-100-000-251	ADMINISTRATION Comm. & Cultural Affairs						
EVEINC	THE SHOWROOM CINEMA	26-00373	Theatre rental+Popcorn/ Drink	\$1,000.00	\$0.00		
OVERT005	OVER THE MOON ART STUDIOS	26-00660	March First Fridays	\$1,225.00	\$0.00		
KDCMP005	KDCM PROPERTIES, LLC	26-00685	Showrrom Cinemas theater rent	\$1,000.00	\$0.00		
				\$3,225.00			
Extd Total: ADMINISTRATION				\$18,797.70			
Department Total: ADMINISTRATION				\$18,797.70			
Department:MAYOR/COUNCIL							
Extd:MAYOR & COUNCIL							
6-01-20-110-000-299	MAYOR & COUNCIL Misc.						
INTIMP	INITIAL IMPACT	26-00257	Clothing supplies for Admin	\$70.00	\$0.00		
Extd Total: MAYOR & COUNCIL				\$70.00			
Department Total: MAYOR/COUNCIL				\$70.00			
Department:MUNIC CLERK							
Extd:MUNICIPAL CLERK							
6-01-20-120-000-217	MUNICIPAL CLERK Ads&Promotion						
GANNE005	GANNETT NEW YORK/NEW JERSEY	26-00653	various ads	\$336.28	\$0.00		
Extd Total: MUNICIPAL CLERK				\$336.28			
Department Total: MUNIC CLERK				\$336.28			

Budget Account	Description					
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
Department:FINANCE						
Extd:FINANCIAL ADMINISTRATION						
6-01-20-130-000-202	FINANCE Office Supplies					
WBMASON	W.B.MASON CO., INC.	26-00659	Finance - Pens, Folders	\$78.50	\$0.00	
6-01-20-130-000-205	FINANCE Ads					
GANNE005	GANNETT NEW YORK/NEW JERSE	26-00591	BID TOWING SERVICES	\$67.12	\$0.00	
6-01-20-130-000-206	FINANCE Copier					
MUNCAP	MUNICIPAL CAPITAL CORPORATIO	26-00690	#40115602 Payment #32 of 60	\$2,720.98	\$0.00	
6-01-20-130-000-209	FINANCE Fees					
GREFIN	GREATAMERICA FINANCIAL SVCS.	26-00639	#41341503 - April, 2026	\$339.50	\$0.00	
6-01-20-130-000-222	FINANCE Training					
INSFOR	INSTITUTE FOR PROFESSIONAL	26-00652	GREEN PURCHASING T. LIZARDI	\$50.00	\$0.00	
6-01-20-130-000-223	FINANCE Condo Reimbursements					
LANNI005	LANNI PROPERTIES LLC	26-00678	1st Q 2026 Trash Reimbursement	\$457.55	\$0.00	
606AP005	606 APARTMENTS LLC	26-00680	1st Q Trash Reimbursement	\$630.00	\$0.00	
				\$1,087.55		
	Extd Total: FINANCIAL ADMINISTRATION			\$4,343.65		
	Department Total: FINANCE			\$4,343.65		
Department:COMPUTER MIS						
Extd:COMPUTERIZED DATA PROCESSING						
6-01-20-140-000-219	COMPUTER DATA PROC. Equipment					
ATECSEC	A+ TECHNOLOGY & SECURITY	26-00173	Q#ES43968 ID Cards	\$3,987.50	\$0.00	
ATECSEC	A+ TECHNOLOGY & SECURITY	26-00236	Q#ES44249 Firehouse Elevator	\$159.49	\$0.00	
AMAZO005	AMAZON.COM SERVICES	26-00600	IT Charging cables	\$74.50	\$0.00	
				\$4,221.49		
6-01-20-140-000-222	COMPUTER DATA PROC Software Lic.					
SAMSA005	SAMSARA INC.	26-00308	#310519554636168 2026 RENEWAL	\$36,271.04	\$0.00	
	Extd Total: COMPUTERIZED DATA PROCESSING			\$40,492.53		
	Department Total: COMPUTER MIS			\$40,492.53		
Department:LEGAL SERVICES						
Extd:LEGAL SERVICES						
6-01-20-155-000-209	LEGAL SERVICES Fees					
LAWOF005	LAW OFFICE OF GENE J ANTHONY	26-00677	Invoice 21917 Rent Leveling	\$1,766.55	\$0.00	
PEMLA005	PEM Law LLP	26-00749	Invoice 10195 Admin.Proceedin	\$165.00	\$0.00	
				\$1,931.55		
	Extd Total: LEGAL SERVICES			\$1,931.55		
	Department Total: LEGAL SERVICES			\$1,931.55		

Budget Account	Description						
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type	
Department:APTV							
Extd:CABLE TV ADVISORY COMMITTEE							
6-01-20-162-000-202	APTV Equipment						
AMAZO005	AMAZON.COM SERVICES	26-00587	PA System	\$1,095.66	\$0.00		
Extd Total: CABLE TV ADVISORY C				\$1,095.66			
Department Total: APTV				\$1,095.66			
Department:ENGINEER SERV							
Extd:ENGINEERING SERVICES							
6-01-20-165-000-209	ENGINEERING SERVICES Fees						
TMASSO	T & MASSOCIATES	26-00770	SE504427 General Engineering	\$16,507.97	\$0.00		
Extd Total: ENGINEERING SERVICE				\$16,507.97			
Department Total: ENGINEER SERV				\$16,507.97			
CAFR Total:				\$83,575.34			
Department:Planning Department							
Extd:Planning Department							
6-01-21-179-000-204	PLANNING DEPT. Professional Svcs.						
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$155.00	\$0.00		
6-01-21-179-000-207	PLANNING DEPT. Training/Cert.						
GANLAW	GANN LAW BOOKS, INC.	26-00514	Gann Invoice 2026	\$209.00	\$0.00		
Extd Total: Planning Department				\$364.00			
Department Total: Planning Departn				\$364.00			
CAFR Total:				\$364.00			
Department:POLICE							
Extd:POLICE DEPARTMENT							
6-01-25-240-000-202	POLICE Office Supplies						
WBMASON	W.B.MASON CO., INC.	26-00277	office supplies	\$282.50	\$0.00		
COSTCO	COSTCO WHOLESALE	26-00614	Chair Patrol Capt.	\$179.99	\$0.00		
				\$462.49			
6-01-25-240-000-205	POLICE Animal Control Services						
SPCA	MONMOUTH COUNTY SPCA	26-00635	Jan invoice animal control	\$5,170.00	\$0.00		
SPCA	MONMOUTH COUNTY SPCA	26-00732	animal control Feb	\$5,170.00	\$0.00		
				\$10,340.00			
6-01-25-240-000-211	POLICE HR Testing						
INSPSY	INSTITUTE FOR FORENSIC	26-00645	3 new sleo"s Eval	\$1,725.00	\$0.00		
6-01-25-240-000-218	POLICE Contract,Serv.						
WIRCOM	WIRELESS COMMUNICATIONS &	26-00637	March invoice	\$1,220.00	\$0.00		

Budget Account		Description				
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
6-01-25-240-000-218	POLICE Contract.Serv.		Account Continued			
THOWES	THOMSON WEST CUSTOMER SER	26-00747	DB Intel software March	\$340.22	\$0.00	
				\$1,560.22		
6-01-25-240-000-222	POLICE Training					
OCECTY	OCEAN COUNTY POLICE ACADEM	26-00467	2 SLEO's Police Acad	\$3,000.00	\$0.00	
NJWOME	NJ WOMEN IN LAW ENFORCEMEN	26-00658	NJWLE 2026 Conference-MCPA	\$299.00	\$0.00	
				\$3,299.00		
6-01-25-240-000-276	POLICE: PAL Expenses					
COSTCO	COSTCO WHOLESALE	26-00402	PAL Activities/Events	\$30.30	\$0.00	B
	Extd Total: POLICE DEPARTMENT			\$17,417.01		
	Department Total: POLICE			\$17,417.01		
Department:FIRE DEPT.						
Extd:FIRE DEPARTMENT						
6-01-25-265-000-203	FIRE DEPT. Motor Vehicle					
FISONS	FIS on Site Service LLC	26-00611	Blanket PO not to Exceed	\$339.03	\$0.00	B
6-01-25-265-000-206	FIRE DEPT. Purchase of Equipment					
TUROUT	TURN OUT FIRE & SAFETY, INC.	26-00225	Q#278561 - RETIREMENT BADGE	\$209.00	\$0.00	
AMAZO005	AMAZON.COM SERVICES	26-00439	QUOTE - LOCKER NAME PLATES	\$480.81	\$0.00	
AMAZO005	AMAZON.COM SERVICES	26-00492	QUOTE - NAME PLATES	\$62.04	\$0.00	
				\$751.85		
6-01-25-265-000-229	FIRE DEPT. Medical Sup.					
EMSAR	EMSAR	26-00706	INV#SM-255691	\$282.63	\$0.00	
6-01-25-265-000-298	FIRE DEPT. Special Operations					
ESIEQU	ESI EQUIPMENT, INC.	26-00612	Quote:E26-199 Annual PM Tools	\$1,474.00	\$0.00	
	Extd Total: FIRE DEPARTMENT			\$2,847.51		
Extd:FIRE HYDRANT						
6-01-25-265-266-299	FIRE HYDRANT Misc.					
NJAMER	N.J. AMERICAN WATER CO.	26-00648	#1018-210026567043 1/28-2/25	\$23,695.19	\$0.00	
	Extd Total: FIRE HYDRANT			\$23,695.19		
	Department Total: FIRE DEPT.			\$26,542.70		
Department:PROSECUTOR						
Extd:MUNICIPAL PROSECUTOR						
6-01-25-275-000-202	PROSECUTOR Fees					
JAMBUT	JAMES N. BUTLER, JR.	26-00739	prosecutor feb 2026	\$3,900.00	\$0.00	
	Extd Total: MUNICIPAL PROSECUTOR			\$3,900.00		
	Department Total: PROSECUTOR			\$3,900.00		
	CAFR Total:			\$47,859.71		

Budget Account		Description				
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
Départment:STREETS & ROAD						
Extd:STREETS & ROADS MAINTENANCE						
6-01-26-290-000-203		STREETS & ROAD Motor Vehicle				
EASAUT	EASTERN AUTOPARTS WAREHOUSE	26-00001	VARIOUS PART - BLANKET PO	\$157.26	\$0.00	B
CHEVAL	CHERRY VALLEY TRACTOR SALES	26-00056	VARIOUS PARTS BLANKET	\$2,029.16	\$0.00	B
GPCNA091	GPC-NAPA AUTO PARTS	26-00057	VARIOUS PARTS BLANKET	\$180.54	\$0.00	B
THEHOS	THE HOSE SHOP, INC.	26-00059	VARIOUS PARTS BLANKET	\$254.58	\$0.00	B
JESCO	JESCO, INC.	26-00062	VARIOUS PARTS BLANKET	\$561.92	\$0.00	B
SEACHE	SEACOAST CHEVROLET OLDS	26-00063	VARIOUS PARTS BLANKET	\$398.72	\$0.00	B
WETIMM	W.E. TIMMERMAN COMPANY, INC.	26-00122	WORK LIGHT-LED	\$50.20	\$0.00	
ALTIND	ALTEC INDUSTRIES, INC.	26-00203	BUCKET TRK#12 ANNUAL INSPECTIO	\$1,491.84	\$0.00	
JOHGUI	JOHN GUIRE SUPPLY	26-00213	VARIOUS PARTS BLANKET	\$1,601.22	\$0.00	B
FREFOR	FREEHOLD FORD	26-00230	VARIOUS PARTS BLANKET	\$1,912.45	\$0.00	B
EASAUT	EASTERN AUTOPARTS WAREHOUSE	26-00421	VARIOUS PARTS BLANKET	\$3,376.32	\$0.00	B
LAWPRO	LAWSON PRODUCTS, INC.	26-00436	VARIOUS STOCK PARTS	\$1,906.46	\$0.00	
JESCO	JESCO, INC.	26-00535	RUBBER TRACK BELT -SKID STEER	\$4,064.68	\$0.00	
QUAAUT	QUALITY AUTO GLASS, INC.	26-00536	F250-#16/KUBOTA-#27 GLASS/MOUL	\$406.92	\$0.00	
EASAUT	EASTERN AUTOPARTS WAREHOUSE	26-00615	VARIOUS PARTS BLANKET	\$1,457.14	\$0.00	B
TAYTOW	TAYLOR'S TOWING	26-00758	C.E.CAR TOW/FORD DIAGNOSTIC	\$270.00	\$0.00	
				\$20,119.41		
6-01-26-290-000-205		STREETS & ROAD Snowstorm Expenses				
TRIOUS	TRIOUS,INC.	26-00396	VARIOUS PARTS PLOWS BLANKET	\$155.10	\$0.00	B
7ELEV015	7-ELEVEN 26378C	26-00712	food during storm 2/22/26	\$272.06	\$0.00	
COUMON	COUNTY OF MONMOUTH	26-00723	brine delivery	\$568.87	\$0.00	
				\$996.03		
6-01-26-290-000-212		STREETS & ROAD Tools				
GRAING	GRAINGER	26-00669	Maintenance Shop Tools	\$81.12	\$0.00	
6-01-26-290-000-216		STREETS & ROAD Carpentry Supplies				
JAE LUM	JAEGER LUMBER & SUPPLY CO, IN	26-00668	2x12x8 Treated Lumber	\$80.48	\$0.00	
6-01-26-290-000-218		STREETS & ROAD Contract.Serv.				
GRAING	GRAINGER	26-00550	2 hooded coveralls	\$228.20	\$0.00	
TIGRI005	TIGRIS	26-00601	NJ Permie & Record Keeping	\$150.00	\$0.00	
CINCOR	CINTAS CORPORATION NO 2	26-00633	monthly reviver AED agreement	\$107.00	\$0.00	
QUENC005	QUENCH USA, INC.	26-00643	monthly service 3/1-3/31/2026	\$41.95	\$0.00	
RUTGE005	RUTGERS, THE STATE UNIV. OF NJ	26-00726	registration for PW Conference	\$490.00	\$0.00	
RESCAS	RESORTS CASINO HOTEL	26-00736	Hotel Stay PW Conference 2026	\$122.81	\$0.00	
OPTIMUM	OPTIMUM	26-00771	monthly payment DPW	\$48.96	\$0.00	
				\$1,188.92		
6-01-26-290-000-223		STREETS & ROAD Sunset Lake				
TIGRI005	TIGRIS	26-00548	Fountain Maint Kits & Service	\$2,350.00	\$0.00	
Extd Total: STREETS & ROADS MAI				\$24,815.96		
Department Total: STREETS & ROAI				\$24,815.96		

Budget Account		Description		Amount	Void Amount	P.O. Type
Vendor Id	Vendor Name	P.O. Id	P.O. Description			
Department:SOLID WASTE						
Extd:SOLID WASTE COLLECTION						
6-01-26-305-000-209	SOLID WASTE Fees					
COUMON	COUNTY OF MONMOUTH	26-00511	use of Reclamation Center Jan.	\$2,247.31	\$0.00	
DELDEM	DELISA DEMOLITION, INC.	26-00642	tipping fees Feb. 16-28, 2026	\$22,366.97	\$0.00	
DELDEM	DELISA DEMOLITION, INC.	26-00716	haul fee,20yd. const/bulk	\$991.36	\$0.00	
MASREC	MAZZA RECYCLING SERVICES, LT	26-00718	single stream recycling Feb.	\$7,425.60	\$0.00	
COUCUR	MONMOUTH COUNTY TREASURER	26-00729	use of reclamation center	\$902.54	\$0.00	
				\$33,933.78		
6-01-26-305-000-218	SOLID WASTE Contract.Serv.					
DELDEM	DELISA DEMOLITION, INC.	26-00703	monthly service Mar.1-31,2026	\$79,166.67	\$0.00	
Extd Total: SOLID WASTE COLLECT				\$113,100.45		
Department Total: SOLID WASTE				\$113,100.45		
Department:BUILDING & GND						
Extd:BUILDINGS & GROUNDS						
6-01-26-310-000-202	BUILDING & GND Janitorial Supplies					
ATRAJ005	ATRA JANITORIAL SUPPLY CO. INC	26-00527	Janitorial supplies City Hall	\$3,639.77	\$0.00	
6-01-26-310-000-203	BUILDING & GND Misc. Hardware					
AMAZO005	AMAZON.COM SERVICES	26-00538	Garage Door Openers 2-pack	\$112.26	\$0.00	
6-01-26-310-000-204	BUILDING & GND Building Supplies					
GRAING	GRAINGER	26-00528	5 CARPET RUNNERS FOR FIREHOUSE	\$968.22	\$0.00	
6-01-26-310-000-210	BUILDING & GND Building Repairs					
AIRSYS	AIR SYSTEMS MAINTENANCE, LLC	26-00602	inspection Train Station	\$5,250.09	\$0.00	
SHEWIL	THE SHERWIN WILLIAMS CO., INC.	26-00667	2 Gal Paint	\$78.79	\$0.00	
				\$5,328.88		
6-01-26-310-000-218	BUILDING & GND Contract.Serv.					
STATE015	STATE PLUMBING, LLC	26-00666	installed 1/4" water supply	\$460.69	\$0.00	
OMNIM005	OMNIMETRIX	26-00717	Renewal Municipal Building	\$720.00	\$0.00	
AIRSYS	AIR SYSTEMS MAINTENANCE, LLC	26-00765	repair/labor Trans. Center	\$539.00	\$0.00	
				\$1,719.69		
Extd Total: BUILDINGS & GROUNDS				\$11,768.82		
Department Total: BUILDING & GND				\$11,768.82		
CAFR Total:				\$149,685.23		
Department:PUBLIC ASST						
Extd:SOCIAL SERVICES:						
6-01-27-345-000-213	SOCIAL SERVICES Client Assistance					
TOSSOL	TOSHIBA BUSINESS SOLUTION	26-00499	ID supplies	\$230.00	\$0.00	
Extd Total: SOCIAL SERVICES:				\$230.00		
Department Total: PUBLIC ASST				\$230.00		

Budget Account	Description	Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
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Department:SENIOR CENTER

Extd:SENIOR CENTER

6-01-27-350-000-210	SENIOR CENTER Classes							
BODYB005	BODY BY BEY	26-00096	Jan, Feb, Mar			\$675.00	\$0.00	B
Extd Total: SENIOR CENTER						\$675.00		
Department Total: SENIOR CENTER						\$675.00		
CAFR Total:						\$905.00		

Department:RECREATION

Extd:RECREATION SERVICES & PROGRAM

6-01-28-370-000-290	RECREATION Programs/Activities							
CRAPRI	CRAFTMASTER PRINTING, INC.	26-00593	line dancing flyers			\$233.00	\$0.00	
Extd Total: RECREATION SERVICES						\$233.00		
Department Total: RECREATION						\$233.00		
CAFR Total:						\$233.00		

Department:LIGHTING

Extd:LIGHT,HEAT,POW

6-01-31-435-435-299	LIGHT, HEAT & POWER Misc.							
JCPL	JCPL	26-00649	Various Accounts 1/23-2/22			\$12,146.61	\$0.00	
NJAMER	N.J. AMERICAN WATER CO.	26-00699	Various Accounts 2/4-3/3			\$299.11	\$0.00	
NJAMER	N.J. AMERICAN WATER CO.	26-00711	Various Accounts 2/5-3/4			\$3,349.62	\$0.00	
NJAMER	N.J. AMERICAN WATER CO.	26-00766	Various Accounts 2/5-3/4			\$52.00	\$0.00	
						\$15,847.34		
Extd Total: LIGHT,HEAT,POW						\$15,847.34		

Extd:STREET/TRAFFIC

6-01-31-435-436-299	STREET&TRAFFIC LIGHTING Misc.							
CONST010	CONSTELLATION NEWENERGY, IN	26-00640	Various Accounts 1/23-2/20			\$111.44	\$0.00	
JCPL	JCPL	26-00650	Various Accounts 1/24-2/23			\$1,796.90	\$0.00	
						\$1,908.34		
Extd Total: STREET/TRAFFIC						\$1,908.34		
Department Total: LIGHTING						\$17,755.68		

Department:TELEPHONE

Extd:TELEPHONE

6-01-31-440-000-299	TELEPHONE Misc.							
MONINT	MONMOUTH INTERNET CORPORA	26-00647	INVOICE 368851-M MARCH 2026			\$3,660.51	\$0.00	
VERZON	VERIZON BUSINESS	26-00748	#152-069-551-0001-78 3/4-4/3			\$124.99	\$0.00	
						\$3,785.50		

Budget Account	Description	Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
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Extd Total: TELEPHONE \$3,785.50
Department Total: TELEPHONE \$3,785.50

Department:GASOLINE
 Extd:GASOLINE

6-01-31-460-000-299	GASOLINE Misc.							
GRIALLI	GRIFFITH-ALLIED TRUCKING, LLC	26-00632	5,300.5 gallons unleaded fuel			\$10,858.37	\$0.00	
GRIALLI	GRIFFITH-ALLIED TRUCKING, LLC	26-00753	3,904.01 gallons unleaded fuel			\$9,332.19	\$0.00	
						\$20,190.56		

Extd Total: GASOLINE \$20,190.56
Department Total: GASOLINE \$20,190.56
CAFR Total: \$41,731.74

Department:PERS
 Extd:PUBLIC EMPLOYEES RETIREMENT SYSTEM(PERS)

6-01-36-471-000-299	PERS Misc.							
PUBEMP	PUBLIC EMPLOYEE'S RETIREMENT	26-00683	2026 PERS Pension Contribution			\$1,241,169.05	\$0.00	
Extd Total: PUBLIC EMPLOYEES RE						\$1,241,169.05		

Department Total: PERS \$1,241,169.05

Department:PFRS
 Extd:POLICE & FIRE RETIREMENT SYSTEM(PFRS)

6-01-36-475-000-299	PFRS Misc.(IN CAP)							
POLFIR	POLICE&FIREMAN'S RETIREMENT	26-00682	2026 PFRS Pension Contribution			\$6,211,009.00	\$0.00	
Extd Total: POLICE & FIRE RETIREM						\$6,211,009.00		

Department Total: PFRS \$6,211,009.00
CAFR Total: \$7,452,178.05

Department:MUNIC COURT
 Extd:MUNICIPAL COURT

6-01-43-490-000-245	MUNIC COURT Interpreter							
BEACRA	BEATRIZ C. CRANEY	26-00426	court interpreter jan 30			\$262.50	\$0.00	
6-01-43-490-000-246	MUNIC COURT Postage							
GREFIN	GREATAMERICA FINANCIAL SVCS.	26-00741	mail machine 3/6-4/5/2026			\$215.00	\$0.00	
Extd Total: MUNICIPAL COURT						\$477.50		

Department Total: MUNICIPAL COURT \$477.50

Department:PUBLIC DEFEND.
 Extd:PUBLIC DEFENDER

Budget Account		Description				
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
6-01-43-495-000-021	Fees					
GREER005	GREER LAW FIRM	26-00740	alt pd 2/6, 2/20/26	\$1,000.00	\$0.00	
LAWOF010	LAW OFFICE OF LAWRENCE W.	26-00742	feb public defender	\$1,000.00	\$0.00	
				\$2,000.00		
	Extd Total: PUBLIC DEFENDER			\$2,000.00		
	Department Total: PUBLIC DEFEND.			\$2,000.00		
	CAFR Total:			\$2,477.50		
CAFR:CURRENT FUND NON BUDGET ACCTS:						
Department:TAXES PAYABLE:						
Extd:TAXES PAYABLE:						
6-01-55-001-000-001	School Taxes Payable					
ASBBOA	ASBURY PARK BOARD OF EDUCAT	26-00646	March 2026 School Tax	\$3,182,056.00	\$0.00	
6-01-55-001-000-002	County Taxes Payable					
COUMON	COUNTY OF MONMOUTH	26-00722	2nd Qtr 2026 County Taxes	\$1,757,451.90	\$0.00	
	Extd Total: TAXES PAYABLE:			\$4,939,507.90		
	Department Total: TAXES PAYABLE:			\$4,939,507.90		
	CAFR Total: CURRENT FUND NON I			\$4,939,507.90		
	Fund Total: CURRENT			\$12,718,517.47		
Fund:BEACH						
Department:UTILITY OE						
Extd:BEACH UTILITY O/E: OTHER EXPENSES:						
6-05-55-502-000-211	BEACH UTILITY O/E: Light & Power					
JCPL	JCPL	26-00649	Varlous Accounts 1/23-2/22	\$579.24	\$0.00	
NJAMER	N.J. AMERICAN WATER CO.	26-00711	Various Accounts 2/5-3/4	\$416.28	\$0.00	
				\$995.52		
6-05-55-502-000-215	BEACH UTILITY O/E: Lumber/Bldg. Supplies					
SHEWIL	THE SHERWIN WILLIAMS CO., INC.	26-00670	Beach Locker Paint	\$603.90	\$0.00	
	Extd Total: BEACH UTILITY O/E: OT			\$1,599.42		
	Department Total: UTILITY OE			\$1,599.42		
	CAFR Total:			\$1,599.42		
	Fund Total: BEACH			\$1,599.42		
Fund:TRANSPORTATION UTILITY: BUDGET:						
Department:UTILITY OE						
Extd:TRANS.UTILITY O/E: OTHER EXPENSES:						
6-06-55-502-000-205	TRANS.UTILITY O/E: Enforcement Supply					
EASTC	EAST COAST EMERGENCY LIGHTING	26-00380	Quote50867 Cargo Box & Install	\$2,194.39	\$0.00	
6-06-55-502-000-207	TRANS.UTILITY O/E: Internet					
OPTIMUM	OPTIMUM	26-00654	07866-196915-01-3 1-26 to 2-26	\$199.01	\$0.00	

Budget Account		Description				
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
6-06-55-502-000-207	TRANS.UTILITY O/E: Intern		Account Continued			
OPTIMUM	OPTIMUM	26-00655	07866-196915-01-3 2-26 to 3-26	\$199.01	\$0.00	
				\$398.02		
6-06-55-502-000-208	TRANS.UTILITY O/E: Parking Permits					
PASPOR	PASSPORT LABS, INC.	26-00772	INV1058867 2/26 Permit Fees	\$855.00	\$0.00	
6-06-55-502-000-210	TRANS.UTILITY O/E: Signs					
GLESUP	GLENCO SUPPLY INC.	26-00674	Wheel Stops and Hardware	\$2,081.00	\$0.00	
6-06-55-502-000-212	TRANS.UTILITY O/E: Parking Meter Supply					
IPSGRO	IPS GROUP, INC.	26-00656	INV122489 2/26 DMS Fees	\$8,625.00	\$0.00	
6-06-55-502-000-213	TRANS.UTILITY O/E: Mobile App Fees					
PARKM005	PARKMOBILE USA, LLC	26-00665	INV000654 2/26 Trans Fees	\$8,459.00	\$0.00	
PAYBY005	PAYBYPHONE US, INC.	26-00774	INV3301 2/26 Trans Fees	\$363.20	\$0.00	
				\$8,822.20		
6-06-55-502-000-227	TRANS.UTILITY O/E: Contractual Services					
STATE020	STATE OF NEW JERSEY	26-00764	PTC Licensing 5 Regulars	\$2,000.00	\$0.00	
6-06-55-502-000-229	TRANS.UTILITY O/E: Janitorial					
ATRAJ005	ATRA JANITORIAL SUPPLY CO. INC	26-00527	Janitorial supplies City Hall	\$2,264.99	\$0.00	
	Extd Total: TRANS.UTILITY O/E: OTI			\$27,240.60		
	Department Total: UTILITY OE			\$27,240.60		
	CAFR Total:			\$27,240.60		
	Fund Total: TRANSPORTATION UTIL			\$27,240.60		
Fund:SEWER UTILITY: BUDGET:						
Department:UTILITY OE						
Extd:SEWER UTILITY O/E: OTHER EXPENSES:						
6-07-55-502-000-202	SEWER UTILITY O/E: Hardware/Tools					
GRAING	GRAINGER	26-00496	fittings for parts cleaner	\$1,075.36	\$0.00	
JEMIND	JEM INDUSTRIAL SERVICES, INC.	26-00497	Degreaser for plant & roads	\$2,269.50	\$0.00	
TRAUS	TRANE U.S. INC.	26-00605	Service Call	\$1,119.56	\$0.00	
TRAUS	TRANE U.S. INC.	26-00687	Service Call AH#8	\$1,492.75	\$0.00	
				\$5,957.17		
6-07-55-502-000-209	SEWER UTILITY O/E: Fees					
TREREV	TREASURER STATE OF NEW JERS	26-00634	Environmental Lab Program	\$835.00	\$0.00	
6-07-55-502-000-211	SEWER UTILITY O/E: Light & Power					
JCPL	JCPL	26-00649	Various Accounts 1/23-2/22	\$28,353.56	\$0.00	
NJAMER	N.J. AMERICAN WATER CO.	26-00711	Various Accounts 2/5-3/4	\$1,186.14	\$0.00	
				\$29,539.70		
6-07-55-502-000-218	SEWER UTILITY O/E: Contract Services					
CERID005	CERIDA INVESTMENT CORP.	26-00604	answering service 2/25-3/24/26	\$153.44	\$0.00	
MUNCAP	MUNICIPAL CAPITAL CORPORATIO	26-00690	#40115602 Payment #32 of 60	\$82.58	\$0.00	
				\$236.02		

Budget Account	Description					
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
6-07-55-502-000-220	SEWER UTILITY O/E: Accounting					
AMEWAT	AMERICAN WATER	26-00641	MAR 26 USAGE INV.4000322043	\$403.76	\$0.00	
6-07-55-502-000-224	SEWER UTILITY O/E: Sludge Removal					
PASVAL	PASSAIC VALLEY SEWERAGE COM	26-00768	sludge disposing Feb. 2026	\$8,585.00	\$0.00	
Extd Total: SEWER UTILITY O/E: OT				\$45,556.65		
Department Total: UTILITY OE				\$45,556.65		
CAFR Total:				\$45,556.65		
Fund Total: SEWER UTILITY: BUDGI				\$45,556.65		
Year Total:				\$12,792,914.14		

Fund:GENERAL CAPITAL FUND BUDGET:

Extd:Odr. 2018-57 Acq.Prop./Const. of FH

C-04-55-998-176-001	Section 20 Costs					
THEHON2	THE HON COMPANY LLC	25-02834	OFFICE FURNITURE FOR NEW FIRE	\$87,964.31	\$0.00	
TANNOR	TANNER NORTH JERSEY, LLC	25-02839	OFFICE FURNITURE FOR NEW FIRE	\$42,099.73	\$0.00	
AARCO005	AARCO PRODUCTS, INC.	25-02857	OFFICE FURNITURE FOR NEW FIRE	\$3,654.84	\$0.00	
NATIO025	NATIONAL PUBLIC SEATING AND	25-02858	OFFICE FURNITURE FOR NEW FIRE	\$2,215.73	\$0.00	
SAFCO005	SAFCO PRODUCTS COMPANY	25-02859	OFFICE FURNITURE FOR NEW FIRE	\$12,523.94	\$0.00	
				\$148,458.55		
Extd Total: Odr. 2018-57 Acq,Prop./C				\$148,458.55		

Extd:Ord. 2023-19 Various Park Improv.

C-04-55-998-184-003	City Wide Park Improvements					
SOMET005	SO METAL, LLC	25-01167	P.B. ART BENCH PROJECT	\$16,675.00	\$0.00	B
Extd Total: Ord. 2023-19 Various Pai				\$16,675.00		

Extd:Ord. 2025-16 Various Capital Improvement

C-04-55-998-187-004	IT Various Equipment					
ATECSEC	A+ TECHNOLOGY & SECURITY	26-00236	Q#ES44249 Firehouse Elevator	\$2,196.51	\$0.00	
C-04-55-998-187-005	Police Various Vehicles & Equipment					
DELCO005	DELCO SOLUTIONS LLC	25-03714	EST#7577 Firehouse Cameras	\$15,643.00	\$0.00	
Extd Total: Ord. 2025-16 Various Ca				\$17,839.51		
Department Total:				\$182,973.06		
CAFR Total:				\$182,973.06		
Fund Total: GENERAL CAPITAL FUI				\$182,973.06		

Fund:PARKING CAPITAL

Department:Ord. 2024-18 Main St. Streetscape

Extd:Ord. 2024-18 Main St. Streetscape

C-09-17-910-000-901	Sec. 20 Costs					
TMASSO	T & M ASSOCIATES	25-01682	TAP Streetscape Main St. Impr.	\$289.50	\$0.00	B
Extd Total: Ord. 2024-18 Main St. Sti				\$289.50		

Budget Account		Description				
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
C-09-17-910-000-901	Sec. 20 Costs		Account Continued			
Department Total: Ord. 2024-18 Mai				\$289.50		
Department:Ord. 2024-20 1st Ave. Road Improvements						
Extd:Ord. 2024-20 1st Ave. Road Improvements						
C-09-17-911-000-901	Section 20 Costs					
TMASSO	T & M ASSOCIATES	24-02201	FIRST AVE ROADWAY IMPROVEMENTS	\$5,070.20	\$0.00	B
Extd Total: Ord. 2024-20 1st Ave. Ro				\$5,070.20		
Department Total: Ord. 2024-20 1st /				\$5,070.20		
Department:Ord. 2025-15 Train Station Canopies						
Extd:Ord. 2025-15 Train Station Canopies						
C-09-17-913-000-901	Section 20 Costs					
TMASSO	T & M ASSOCIATES	25-03936	PEDESTRIAN CANOPY STRUCTURES	\$8,242.50	\$0.00	B
Extd Total: Ord. 2025-15 Train Statio				\$8,242.50		
Department Total: Ord. 2025-15 Trai				\$8,242.50		
Department:Ord. 2025-23 Improvements to 3rd Ave.						
Extd:Ord. 2025-23 Improvements to 3rd Ave.						
C-09-17-914-000-901	Section 20 Costs					
TMASSO	T & M ASSOCIATES	25-03016	THIRD AVENUE ROADWAY PROJECT	\$12,953.29	\$0.00	B
Extd Total: Ord. 2025-23 improveme				\$12,953.29		
Department Total: Ord. 2025-23 Impi				\$12,953.29		
CAFR Total:				\$26,555.49		
Fund Total: PARKING CAPITAL				\$26,555.49		
Year Total:				\$209,528.55		
Fund:GRANT FUND BUDGET:						
G-02-43-956-022-217	Opiod Settlement Funds					
TOSSOL	TOSHIBA BUSINESS SOLUTION	26-00499	ID supplies	\$230.00	\$0.00	
Extd Total:				\$230.00		
Department Total:				\$230.00		
G-02-43-971-023-200	Clean Communities					
DOGWA005	DOG WASTE DEPOT	26-00530	10 cases doog waste bags	\$1,429.40	\$0.00	
Extd Total:				\$1,429.40		
Department Total:				\$1,429.40		
G-02-43-984-024-201	Municipal Share					
ARCAR005	ARCARI & IOVINO ARCHITECTS, PC	24-01847	BOARDWALK RESTROOMS	\$7,096.50	\$0.00	B
TMASSO	T & M ASSOCIATES	24-02759	BOARDWALK RESTROOMS PROJECT	\$47,870.75	\$0.00	B
TMASSO	T & M ASSOCIATES	25-01454	MAR PARAMOUNT THEATER PROJECT	\$7,864.75	\$0.00	B

Budget Account		Description				
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
G-02-43-984-024-201	Municipal Share		Account Continued			
MARFAL	MARAZITI FALCON, LLP	26-00773	Invoice 61290 Boardwalk	\$14,911.10	\$0.00	
				\$77,743.10		
	Extd Total:			\$77,743.10		
	Department Total:			\$77,743.10		
	CAFR Total:			\$79,402.50		
G-02-45-007-025-200	NJDEP Inventory & CFMP Development					
STERL005	STERLING CONSULTANTS, LLC	25-02288	TREE INVENTORY & CFMP	\$15,000.00	\$0.00	B
	Extd Total:			\$15,000.00		
	Department Total:			\$15,000.00		
	CAFR Total:			\$15,000.00		
	Fund Total: GRANT FUND BUDGET:			\$94,402.50		
	Year Total:			\$94,402.50		
Fund:ANIMAL CONTROL FUND BUDGET:						
T-12-56-850-000-801	Reserve for Animal Control					
SPCA	MONMOUTH COUNTY SPCA	26-00635	Jan invoice animal control	\$150.00	\$0.00	
NJDEPH	NJ DEPT.HEALTH/SNR.SERV.	26-00684	Dog State Report 02.2026	\$88.80	\$0.00	
SPCA	MONMOUTH COUNTY SPCA	26-00732	animal control Feb	\$412.50	\$0.00	
				\$651.30		
	Extd Total:			\$651.30		
	Department Total:			\$651.30		
	CAFR Total:			\$651.30		
	Fund Total: ANIMAL CONTROL FUN			\$651.30		
Fund:COMMUNITY DEVELOPMENT BLK GRANT BUDGET:						
Extd:2024 CDBG 24-MC-83-850-850-000						
T-17-83-850-850-001	2024 Administration					
INTIMP	INITIAL IMPACT	26-00257	Clothing supplies for Admin	\$130.00	\$0.00	
SHORIT	SAKER SHOPRITE, INC.	26-00284	Black History Supplies	\$298.75	\$0.00	B
COSTCO	COSTCO WHOLESALE	26-00285	Black History Supplies	\$831.03	\$0.00	
WEGMA005	WEGMANS FOOD MARKETS, INC	26-00286	Black History Supplies	\$1,176.90	\$0.00	
				\$2,436.68		
	Extd Total: 2024 CDBG 24-MC-83-85			\$2,436.68		
	Department Total:			\$2,436.68		
	CAFR Total:			\$2,436.68		
Extd:2025 CDBG 25-MC-83-850-850-000						
T-17-84-850-850-001	2025 Administration					
CRAPRI	CRAFTMASTER PRINTING, INC.	26-00651	FC Postcards 5x7, 16pt gloss	\$181.00	\$0.00	
T-17-84-850-850-003	2025 Community Events					
VELJOH	VEL JOHNSON	26-00752	Performance BHM	\$150.00	\$0.00	

Budget Account	Description					
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type
T-17-84-850-850-003	2025 Community Events		Account Continued			
	Extd Total: 2025 CDBG 25-MC-83-85			\$331.00		
	Department Total:			\$331.00		
	CAFR Total:			\$331.00		
	Fund Total: COMMUNITY DEVELOPI			\$2,767.68		
Fund:TRUST OTHER						
T-20-56-850-899-801	Reserve for Self Insurance Liability					
PMACOM	PMA MANAGEMENT CORPORATION	26-00721	Feb 2026 Billing Statements	\$64,300.58	\$0.00	
	Extd Total:			\$64,300.58		
T-20-56-850-932-301	Reserve for Storm Recovery Trust Fund					
SBROT005	S BROTHERS INC.	26-00495	SNOW REMOVAL 1/24/26 & 1/25/26	\$20,330.00	\$0.00	
COUMON	COUNTY OF MONMOUTH	26-00754	800 gallons brine/delivery	\$12,522.44	\$0.00	
				\$32,852.44		
	Extd Total:			\$32,852.44		
	Department Total:			\$97,153.02		
	CAFR Total:			\$97,153.02		
	Fund Total: TRUST OTHER			\$97,153.02		
Fund:PLANNING & ZONING ESCROW FUND BUDGET:						
CAFR:PLANNING & ZONING ESCROW FUND BUDGET:						
T-21-00-461-000-299	1201 MEMORIAL DRIVE(JEMAL'S BRAVERMAN)					
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$155.00	\$0.00	
	Extd Total:			\$155.00		
	Department Total:			\$155.00		
T-21-00-568-000-299	BL 4001(INSP.FEES)(AP BL 4001 VENTURE)					
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$482.50	\$0.00	
	Extd Total:			\$482.50		
	Department Total:			\$482.50		
T-21-00-614-000-299	614 COOKMAN AVENUE(INS)(614 COOKMAN,LLC)					
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$77.50	\$0.00	
	Extd Total:			\$77.50		
	Department Total:			\$77.50		
T-21-00-631-000-299	LOFTS AT KINGLSEY AVENUE(K.HOVNANIAN)					
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$4,438.15	\$0.00	
	Extd Total:			\$4,438.15		
	Department Total:			\$4,438.15		

Budget Account		Description					
Vendor Id	Vendor Name	P.O. Id	P.O. Description	Amount	Void Amount	P.O. Type	
T-21-00-632-000-299	AP TRANGLE2(BLOCK 3801)(ASBURY PARTNERS)						
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$1,937.50	\$0.00		
	Extd Total:			\$1,937.50			
	Department Total:			\$1,937.50			
T-21-00-652-000-299	217-219 3RD AVE.(AMBASSADOR DEVELOPMENT)						
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$387.50	\$0.00		
	Extd Total:			\$387.50			
	Department Total:			\$387.50			
T-21-00-653-000-299	702 SUMMERFIELD(702 SUMMERFIELD AP,LLC)						
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$930.00	\$0.00		
	Extd Total:			\$930.00			
	Department Total:			\$930.00			
T-21-00-654-000-299	B3803/4503-COOKMAN/WESLEY(ASBURY PTNRS)						
CLACAN	CLARKE CATON HINTZ PC	26-00707	PB & ZB PROF. SVS CCH 2026	\$317.20	\$0.00		
	Extd Total:			\$317.20			
	Department Total:			\$317.20			
	CAFR Total: PLANNING & ZONING E			\$8,725.35			
	Fund Total: PLANNING & ZONING E			\$8,725.35			
Fund:CITY OF ASBURY PARK REDEVELOPMENT ESCROW							
T-48-56-850-000-806	711&607 Mattison/545 Lake/550 Cookm(APB)						
KYLEM005	KYLE MCMANUS ASSOCIATES LLC	26-00644	Invoice 8228 Affordable Hsg.	\$30.00	\$0.00		
T-48-56-850-000-833	1201 MEMORIAL(DOUGLAS DEVELOPMENT CORP)						
DILWO005	DILWORTH PAXSON, LLP	26-00620	Invoice 640616 Redevelopment	\$3,819.00	\$0.00		
T-48-56-850-000-867	900-904 SPRINGWOOD(MEMORIAL AVE.HOLDINGS)						
DILWO005	DILWORTH PAXSON, LLP	26-00620	Invoice 640616 Redevelopment	\$2,135.00	\$0.00		
T-48-56-850-000-882	BLK 3904 PARKING GARAGE(ASBURY PARTNERS)						
MARFAL	MARAZITI FALCON, LLP	26-00613	Professional Services Rendered	\$14,961.91	\$0.00		
DILWO005	DILWORTH PAXSON, LLP	26-00620	Invoice 640616 Redevelopment	\$350.00	\$0.00		
				\$15,311.91			
T-48-56-850-000-892	1106 MAIN STREET(MERCY CENTER CORP.)						
KYLEM005	KYLE MCMANUS ASSOCIATES LLC	26-00644	Invoice 8228 Affordable Hsg.	\$225.00	\$0.00		
T-48-56-850-000-896	600 MAIN STREET(600 MAIN DEVELOPERS,LLC)						
KYLEM005	KYLE MCMANUS ASSOCIATES LLC	26-00644	Invoice 8228 Affordable Hsg.	\$225.00	\$0.00		
	Extd Total:			\$21,745.91			
	Department Total:			\$21,745.91			
	CAFR Total:			\$21,745.91			
	Fund Total: CITY OF ASBURY PARK			\$21,745.91			
	Year Total:			\$131,043.26			

<i>Budget Account</i>		<i>Description</i>				
<i>Vendor Id</i>	<i>Vendor Name</i>	<i>P.O. Id</i>	<i>P.O. Description</i>	<i>Amount</i>	<i>Void Amount</i>	<i>P.O. Type</i>
T-48-56-850-000-896	600 MAIN STREET(600 MAI		Account Continued			

Total Charged Lines: 382 Total List Amount: \$13,293,473.19 Total Void Amount: \$0.00

Totals by Year-Fund					
Fund Description	Fund	Budget Total	Revenue Total	G/L Total	Total
CURRENT	5-01	\$49,378.44	\$0.00	\$0.00	\$49,378.44
TRANSPORTATION UT	5-06	\$16,206.30	\$0.00	\$0.00	\$16,206.30
	Year Total:	\$65,584.74	\$0.00	\$0.00	\$65,584.74
CURRENT	6-01	\$12,718,517.47	\$0.00	\$0.00	\$12,718,517.47
BEACH	6-05	\$1,599.42	\$0.00	\$0.00	\$1,599.42
TRANSPORTATION UT	6-06	\$27,240.60	\$0.00	\$0.00	\$27,240.60
SEWER UTILITY: BUDG	6-07	\$45,556.65	\$0.00	\$0.00	\$45,556.65
	Year Total:	\$12,792,914.14	\$0.00	\$0.00	\$12,792,914.14
GENERAL CAPITAL FU	C-04	\$182,973.06	\$0.00	\$0.00	\$182,973.06
PARKING CAPITAL	C-09	\$26,555.49	\$0.00	\$0.00	\$26,555.49
	Year Total:	\$209,528.55	\$0.00	\$0.00	\$209,528.55
GRANT FUND BUDGET	G-02	\$94,402.50	\$0.00	\$0.00	\$94,402.50
ANIMAL CONTROL FUI	T-12	\$651.30	\$0.00	\$0.00	\$651.30
COMMUNITY DEVELOP	T-17	\$2,767.68	\$0.00	\$0.00	\$2,767.68
TRUST OTHER	T-20	\$97,153.02	\$0.00	\$0.00	\$97,153.02
PLANNING & ZONING I	T-21	\$8,725.35	\$0.00	\$0.00	\$8,725.35
CITY OF ASBURY PARI	T-48	\$21,745.91	\$0.00	\$0.00	\$21,745.91
	Year Total:	\$131,043.26	\$0.00	\$0.00	\$131,043.26
Total Of All Funds:		\$13,293,473.19	\$0.00	\$0.00	\$13,293,473.19

March 25 , 2026 Meeting

Balance Brought Forward from Total List Amount	\$ 13,293,473.19
NJSHBP (26-00676)	\$ 674,065.89
NJ Motor Vehicle Commission (26-00727)	\$ 60.00
Constant Contact (26-00599)	\$ 292.50

Total: \$ 13,967,891.58



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-165

Resolution Approving Change Order #7 Through #11 And Request To Exceed 20% Change Order Threshold For The Asbury Park Boardwalk Restroom Project



RESOLUTION - 2026-165

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION APPROVING CHANGE ORDER #7 THROUGH #11 AND REQUEST TO EXCEED 20% CHANGE ORDER THRESHOLD FOR THE ASBURY PARK BOARDWALK RESTROOM PROJECT

WHEREAS, the City Council of Asbury Park awarded a contract to Catel, Inc. on August 13, 2025, for the Asbury Park Boardwalk Restrooms Project via Resolution #2025-367; and

WHEREAS, the original contract amount approved by the City Council was in the sum of three million fifty-eight thousand four hundred dollars and zero cents (\$3,058,400.00); and

WHEREAS, the City has approved via Resolution 2025-423 Change Order #1 resulting in an additional amount of one hundred thirty thousand sixty-five dollars and zero cents (\$130,065.00) to the contract; and

WHEREAS, the City has approved via Resolution 2025-472 Change Order #2 and #3 resulting in an additional amount of one hundred fifty-seven thousand five hundred forty-five dollars and fifty-eight cents (\$157,545.58) to the contract; and

WHEREAS, the City has approved via Resolution 2025-503 Change Order #4 and #5 resulting in an additional amount of two hundred thirty-six thousand one hundred nineteen dollars and zero cents (\$236,119.00) to the contract; and

WHEREAS, the City has approved via Resolution 2026-55 and amendment Resolution #2026-119 for Change Order #6 resulting in an additional amount of one hundred eighty-one thousand three hundred seven dollars and fifty cents (\$181,307.50) to the contract; and

WHEREAS, the City Engineer is requesting Change Order #7 in the amount of \$25,200.00; and

WHEREAS, Change Order #7 represents additional labor, equipment and effort required to truck in, place, grade and compact fill material as a result of the excavation of unforeseen concrete foundations and structures, resulting in a total increase of twenty-five thousand two hundred dollars and zero cents (\$25,200.00) net change to the contract; and

WHEREAS, the City Engineer is requesting Change Order #8 in the amount of \$52,429.39; and

WHEREAS, Change Order #8 is related to additional costs and efforts for pile driving work, additional testing and geotechnical work that was required due to excessive vibrations from pile driving activities, resulting in a total increase of fifty-two thousand four hundred twenty-nine dollars and thirty-nine cents (\$52,429.39) net change to the contract; and

WHEREAS, the City Engineer is requesting Change Order #9 in the amount of \$7,688.23; and

WHEREAS, Change Order #9 is related to revisited/reconfigured electrical wiring path per JCP&L direction and requirements, resulting in a total increase of seven thousand six hundred eighty-eight dollars and twenty-three cents (\$7,688.23) net change to the contract; and

WHEREAS, the City Engineer is requesting Change Order #10 in the amount of \$47,410.00; and

WHEREAS, Change Order #10 is related to additional efforts, labor and materials to bring the sanitary sewer discharge from the new buildings all the way out to the existing sewer main in Ocean Avenue, resulting in a total increase of forty-seven thousand four hundred ten dollars and zero cents (\$47,410.00) net change to the contract; and

WHEREAS, the City Engineer is requesting Change Order #11 in the amount of \$17,291.79; and

WHEREAS, Change Order #11 is related to additional water pipes, fittings, labor and materials to provide water service to accommodate the new beach shower station project, resulting in a total increase of seventeen thousand two hundred ninety-one dollars and seventy-nine cents (\$17,291.79) net change to the contract; and

WHEREAS, during the course of the project, change orders 2 through 5 were unforeseen by the Contractor and Owner because they were concealed: the discovery of the buried building foundation, concrete chambers, etc., if left uncorrected, would not allow the installation of the new foundation piles and grade beams and would have rendered the project un-constructable; and

WHEREAS, the proposed change order amounts totaling one hundred fifty thousand nineteen dollars and forty-one cents (\$150,019.41), when added to the aggregate of prior change orders, causes the total value of change orders to exceed 20% of the originally awarded contract amount, thus triggering the requirements of N.J.A.C. 5:30-11.9; and

WHEREAS, the Project Manager, T&M Associates, recommends authorizing Change Order #7 through Change Order #11; and

WHEREAS, the City has reviewed and documented the necessity of this change in writing, including certification of funds availability and a statement of justification, all in accordance with applicable procurement regulations, which are attached hereto and incorporated herein by

reference; and

WHEREAS, in compliance with N.J.A.C. 5:30-11.9(c), the City must authorize a written amendatory contract by formal resolution prior to execution of the corresponding change order, and the draft amendatory contract is attached hereto and incorporated herein by reference; and

WHEREAS, the City has further determined that the proposed modification necessitates a change order to reflect the actual contract amount, and the approval of Change Order # 7 through Change Order #11 is necessary and appropriate.

WHEREAS, the contractor has requested a 30 calendar day extension to the contract schedule; and

WHEREAS, the city denies this request for an extension and the project will remain on the originally agreed upon schedule

WHEREAS, the Chief Financial Officer has certified that funds are available in G-02-43-984-024-201 within the Grant Fund and the maximum dollar value of the pending change orders is as set forth in this resolution; and

WHEREAS, said certification has designated specifically the line-item appropriation(s) of the official budget to which the contract will be officially charged.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of Asbury Park, County of Monmouth and State of New Jersey that this Change Order #7 through Change Order #11 shall not exceed one hundred fifty thousand nineteen dollars and forty-one cents (\$150,019.41).

BE IT FURTHER RESOLVED that there will be no extension to the originally agreed upon contract schedule at this point in time and the schedule of construction will remain the same.

BE IT FURTHER RESOLVED that the City Manager is hereby authorized to execute Change Order Number 7 through Change Order Number 11 on behalf of the Governing Body.

BE IT FURTHER RESOLVED that a certification of availability of funds shall be attached to the original copy of this resolution and kept in the files of the City Clerk.

BE IT FURTHER RESOLVED the governing body shall cause to be printed once, in an official newspaper, a brief notice indicating the additional amount to be expended, the original contract price, the nature of the original and additional work, and why it is necessary to expend the additional funds and kept in the files of the City Clerk and be available for inspection by the public.

BE IT FURTHER RESOLVED that a copy of this Resolution be provided to the CFO, Catel, Inc., City Engineer, City Manager and Director of Purchasing.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-__ which was finally adopted by the City Council at a meeting held on the __ day of ____, 2026

CERTIFIED BY ME THIS __ DAY OF ____, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



AIA Document G701® – 2017

Change Order

PROJECT: *(Name and address)*
Asbury Park Boardwalk Restrooms

CONTRACT INFORMATION:
Contract For: General Construction
Date: October 14, 2025

CHANGE ORDER INFORMATION:
Change Order Number: 007
Date: 02-16-2026

OWNER: *(Name and address)*
City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

ARCHITECT: *(Name and address)*
Arcari + Iovino Architects, P.C.
One Katherine Street
Little Ferry, NJ 07643

CONTRACTOR: *(Name and address)*
Catel, Inc.
P.O. Box 1383
Belmar, NJ 07719

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)


T&M for imported fill into the site (COR #7). Add \$25,200.00

The original Contract Sum was	\$ 3,058,400.00
The net change by previously authorized Change Orders	\$ 523,803.58
The Contract Sum prior to this Change Order was	\$ 3,582,203.58
The Contract Sum will be increased by this Change Order in the amount of	\$ 25,200.00
The new Contract Sum including this Change Order will be	\$ 3,607,403.58

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be 243 Calendar Days

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.



ARCHITECT *(Signature)*

BY: Ralph Justo, Partner

(Printed name, title, and license number if required)

2/17/2026

Date



CONTRACTOR *(Signature)*

BY: Dan Pires, V. President

(Printed name and title)

2/17/2026

Date

OWNER *(Signature)*

(Printed name and title)

Date

Unit Prices for Extra Work Required to Remove Unforeseen Underground
 Tanks/Pipes/Footings/Slabs/etc
 Project: Asbury Park Restrooms
 Project Location: Asbury Park NJ
 Change Order Number: GC-07
 Change Order Billing Dates: Thru 1/16/26



Change Order: T&M Rates for Imported Fill
 Date: 1/16/2026 \$25,200.00

PAY ITEM	QTY	UNIT	Labor Cost	Material Cost	Unit Cost	Total Labor Cost	Total Material Cost	TOTAL
Foreman/Operator		HR	\$195.00	\$0.00	\$195.00	\$0.00	\$0.00	\$0.00
Labor		HR	\$135.00	\$0.00	\$135.00	\$0.00	\$0.00	\$0.00
Stone		Ton	\$0.00	\$85.00	\$85.00	\$0.00	\$0.00	\$0.00
Fabric		SY	\$0.00	\$3.00	\$3.00	\$0.00	\$0.00	\$0.00
Pump 2"		HR	\$15.00	\$0.00	\$15.00	\$0.00	\$0.00	\$0.00
Excavator With Hammer		HR	\$330.00	\$0.00	\$330.00	\$0.00	\$0.00	\$0.00
Excavator		HR	\$200.00	\$0.00	\$200.00	\$0.00	\$0.00	\$0.00
Mini Excavator		HR	\$110.00	\$0.00	\$110.00	\$0.00	\$0.00	\$0.00
Skid Steer		HR	\$110.00	\$0.00	\$110.00	\$0.00	\$0.00	\$0.00
Roller		HR	\$110.00	\$0.00	\$110.00	\$0.00	\$0.00	\$0.00
Dump Truck		HR	\$160.00	\$0.00	\$160.00	\$0.00	\$0.00	\$0.00
Concrete Dump Fee		TON	\$0.00	\$12.00	\$12.00	\$0.00	\$0.00	\$0.00
Import Fill (see breakdown/log below)	720	CY	\$0.00	\$35.00	\$35.00	\$0.00	\$25,200.00	\$25,200.00
Imported Fill Log:								
01/02/26	Import Fill 6 Loads	108	CY					
01/06/26	Import Fill 14 Loads	252	CY					
01/07/26	Import Fill 4 Loads	72	CY					
1/12/26	Import Fill 3 Loads	54	CY					
1/13/26	Import Fill 6 Loads	108	CY					
1/14/26	Import Fill 5 Loads	90	CY					
1/15/26	Import Fill 2 Loads	36	CY					
TOTAL			720					



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Change Order

PROJECT: *(Name and address)*
Asbury Park Boardwalk Restrooms

CONTRACT INFORMATION:
Contract For: General Construction
Date: October 14, 2025

CHANGE ORDER INFORMATION:
Change Order Number: 008
Date: 03-03-2026

OWNER: *(Name and address)*
City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

ARCHITECT: *(Name and address)*
Arcari + Iovino Architects, P.C.
One Katherine Street
Little Ferry, NJ 07643

CONTRACTOR: *(Name and address)*
Catel, Inc.
P.O. Box 1383
Belmar, NJ 07719

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Additional costs for Pile work due to engineering issues/delays (COR #8). Add \$52,429.39

The original Contract Sum was	\$ 3,058,400.00
The net change by previously authorized Change Orders	\$ 549,003.58
The Contract Sum prior to this Change Order was	\$ 3,607,403.58
The Contract Sum will be increased by this Change Order in the amount of	\$ 52,429.39
The new Contract Sum including this Change Order will be	\$ 3,659,832.97

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be 243 Calendar Days

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.



ARCHITECT *(Signature)*

BY: Ralph Justo, Partner

(Printed name, title, and license number if required)

3/3/2026

Date



CONTRACTOR *(Signature)*

BY: Dan Pires, V. President

(Printed name and title)

3/3/2026

Date

OWNER *(Signature)*

(Printed name and title)

Date



CATEL, INC.

PO Box 1383
Belmar, NJ 07719
Phone: (732) 570-3020
Fax: (732) 280-1325

CO PROPOSAL

CO Proposal #:

GC-8

Date :

January 30, 2026

Customer:

City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

For:

Asbury Park Boardwalk Bathrooms
First & Fourth Avenues
Asbury Park, NJ 07712

Project #:

2416

DESCRIPTION	AMOUNT
CO Proposal #8 - Additional Costs for Pile Work due to Engineering Issues/Delays	
Additional Piles, Delays, Monitoring Costs, etc. <i>(see attached subcontractor supporting documentation)</i>	\$46,555.00
Catel Cost of Supervision, Field Personnel, Change Order Prep, etc as per AIA A201 Section 7.3.4.5	\$1,000.00
Catel OH/P (5% for OH/Bond/Insurance and 5% Profit)	\$2,377.75
	\$2,496.64
NOTE: While this did delay the project, Catel is willing to waive its claim for additional days.	
TOTAL	\$52,429.39

If you have any questions concerning this proposal contact:

Dan Pires
732-570-3020
dan@catelinc.com

THANK YOU FOR YOUR BUSINESS!



REQUEST FOR CHANGE ORDER

Ref.# CO-00001
 External/RCO#
 GC Ref#
 Date Dec 22, 2025
 Job # 25-00567

To: Catel, Inc
 2510 Belmar Blvd, Suite J4
 PO Box 1383
 Belmar, NJ 07719
 Phone: 732-580-4683
Contact: Dan Pires

Project: 1 Municipal Plaza
 Asbury Park Boardwalk Bathrooms
 Asbury Park, NJ

Description: Additional items, time and material to complete project.

Description	Amount
SJ Hauck Construction respectfully submits this change order to cover additional labor, equipment and material costs associated with this project.	
- Additional pile length @ \$125 / 5' length for 47 piles	5,875.00
- Additional vibration monitoring @ \$720.00 / day x 4 days - 5 days included in original contract.	2,880.00
- Additional pile driving equipment time on site @ \$7,500.00 / week x 2 weeks. Original contract based on 5 days	15,000.00
- Additional labor for tracking between sites, downtime waiting on engineering, and delays due to site conditions. 1 foreman & 2 journeyman @ \$185 per hr for 6 days. Original contract based on 5 days.	26,640.00
- Additional travel for vibration monitoring team	3,000.00
- Credit for trucking from site to site. Tracked machine from site to site instead.	-2,500.00
- Credit for 62 20' vs 25' piles at the 4th Ave site @ \$40 per pile	-2,480.00
- Credit for 15 25' vs 30' piles at the 1st Ave site @ \$124 per pile	-1,860.00

Total:	\$46,555.00
---------------	--------------------

AUTHORIZED BY: William Ranieri
ON BEHALF OF: Catel, Inc

PROJECT MANAGER: William Ranieri
ESTIMATOR: Mark C Boothby Jr

You, the Owner/Buyer, may cancel this Change Order at any time prior to Midnight of the Third (3rd) Business Day after the date of this Change Order. See the attached Notice of Cancellation form for an explanation of this right.

<p>PAYMENT SCHEDULE:</p> <p>Change Order Amount: \$46,555.00</p> <p>SJ Hauck Representative (Print and Sign): _____</p> <hr/> <p>Date Issued: _____</p> <p>The scope of work specified in the Change Order will increase / decrease the substantial completion date by _____ work days. (Please circle increase / decrease)</p>	<p>ACCEPTANCE/APPROVALS:</p> <p>The undersigned agrees to the changes noted above and the payment schedule shown. This CO is subject to all the terms & conditions of Contract between the Parties</p> <p>Owner: _____ Print Name</p> <p>Owner: _____ Signature</p> <p>Owner's Representative: _____ Print Name</p> <p>Signature</p> <p>Date: _____</p>
--	---

For information about Contractor and the Contractor's Registration Act, contact the New Jersey Department of Law and Public Safety, Division of Consumer Affairs, at 1-888-656-6225.

This change order is subject to the following terms and conditions:

This change order is based on plans and specifications provided. Any changes to construction drawings shall be submitted 5 days before work begins. We accept no responsibility due to incorrect/outdated plans.

There is no allowance for repairs to rotted/insect damaged material if they are uncovered.

Such conditions shall be remedied at additional cost not included in this estimate.

Heavy trucks and equipment are often required to accomplish construction projects.

We shall not be responsible for damage to sidewalk, lawns or driveways due to equipment required to facilitate projects.

Wire instructions: ABA #031308807 Account #19121979 Mid Penn Bank, 2407 Park Drive, Harrisburg, PA 17110



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Change Order

PROJECT: *(Name and address)*
Asbury Park Boardwalk Restrooms

CONTRACT INFORMATION:
Contract For: General Construction
Date: October 14, 2025

CHANGE ORDER INFORMATION:
Change Order Number: 009
Date: 03-03-2026

OWNER: *(Name and address)*
City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

ARCHITECT: *(Name and address)*
Arcari + Iovino Architects, P.C.
One Katherine Street
Little Ferry, NJ 07643

CONTRACTOR: *(Name and address)*
Catel, Inc.
P.O. Box 1383
Belmar, NJ 07719

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Change to First Ave Electrical Service Path as per JCPL (COR #9). Add \$7,688.23

The original Contract Sum was	\$ 3,058,400.00
The net change by previously authorized Change Orders	\$ 601,432.97
The Contract Sum prior to this Change Order was	\$ 3,659,832.97
The Contract Sum will be increased by this Change Order in the amount of	\$ 7,688.23
The new Contract Sum including this Change Order will be	\$ 3,667,521.20

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be 243 Calendar Days

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.



ARCHITECT *(Signature)*

BY: Ralph Justo, Partner

(Printed name, title, and license number if required)

3/3/2026

Date



CONTRACTOR *(Signature)*

BY: Dan Pires, V. President

(Printed name and title)

3/3/2026

Date

OWNER *(Signature)*

(Printed name and title)

Date



CATEL, INC.

PO Box 1383
Belmar, NJ 07719
Phone: (732) 570-3020
Fax: (732) 280-1325

CO PROPOSAL

CO Proposal #:

GC-9

Date :

February 19, 2026

Customer:

City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

For:

Asbury Park Boardwalk Bathrooms
First & Fourth Avenues
Asbury Park, NJ 07712

Project #:

2416

DESCRIPTION	AMOUNT
<u>CO Proposal #9 - Change to First Ave Electrical Service Path as per JCPL</u>	
Additional Electrical Work required to re-route the electrical service at First Ave to a different electrical vault (See attached Subcontractor Supporting Documentation)	\$6,489.30
Catel Cost of Supervision, Field Personnel, Change Order Prep, etc as per AIA A201 Section 7.3.4.5	\$500.00
Catel OH/P (5% for OH/Bond/Insurance and 5% Profit)	\$698.93
TOTAL	\$7,688.23

If you have any questions concerning this proposal contact:

Dan Pires
732-570-3020
dan@catelinc.com

THANK YOU FOR YOUR BUSINESS!



**BUILDING
SYSTEMS**

DC BUILDING SYSTEMS LLC.
ELECTRICAL & SECURITY CONTRACTOR
Electrical Contractor License No. 34EB01661500
Home Improvement Contractor License No. 13VH05790900
729 Fischer Blvd, Toms River, NJ 08753
Phone: (848) 221-2913
Fax: (848) 221-2917

DC PROPOSAL NO. - DC25048 - PCO#2
PROJECT DESCRIPTION – Asbury Park Board Walk 1st Ave Restroom Building
BID DOCUMENTS PROVIDED –
PROPOSAL PROVIDED TO – Catel Inc.
ATTENTION - Dan
DATE – 2/19/26

We hereby propose to provide all labor, equipment, and materials to complete work for the above referenced project in accordance with the contract drawings and specifications for a total lump sum price of **\$6,489.30**
Six Thousand Four Hundred Eighty Nine Thousand Dollars & Thirty Cents

SCOPE OF WORK:

- Cost to extend secondary electric service to a different manhole per the direction of JCPL.
Additional footage = aprox 70'.

NOTES & EXCLUSIONS:

1. This price is based on normal working hours.
2. This price does not include any applicable taxes.
3. This price does not include any permit fees.

Price Breakdown :

Misc Materials \$2,807.00

Labor = 32 Man Hours 17.8 x \$149.52 = \$2,661.45

Office Change Order Preparation Time 1 Hour x \$150.00 Per Hour = \$150.00

Sub Total = \$5,618.45

Overhead 10% = \$561.84

Profit 5% = \$309.01

Total Amount = \$6,489.30

We appreciate the opportunity to provide pricing for this work. Please feel free to contact me with any questions you may have at (732) 330-9641.

Very Truly Yours,

Dan Dubiel

PRICING SHEET



JOB AP 13-Work P264
 WORK 1st Ave Service Extension

ESTIMATE NO

ESTIMATED BY	PRICED BY	EXTENDED BY	CHECKED BY	DATE

✓	MATERIAL	QUANTITY	MATERIAL PRICE		PER	MATERIAL EXTENSION	LABOR UNIT		PER	LABOR EXTENSION
1										
2	3" PVC	70	256			175	-08			5.6
3	250 MCM	280	9			2520	4			11.2
4	#4	70	160			112	1.4			1
5										
6										
7										
8										
9										
10										
11										
12										
13										
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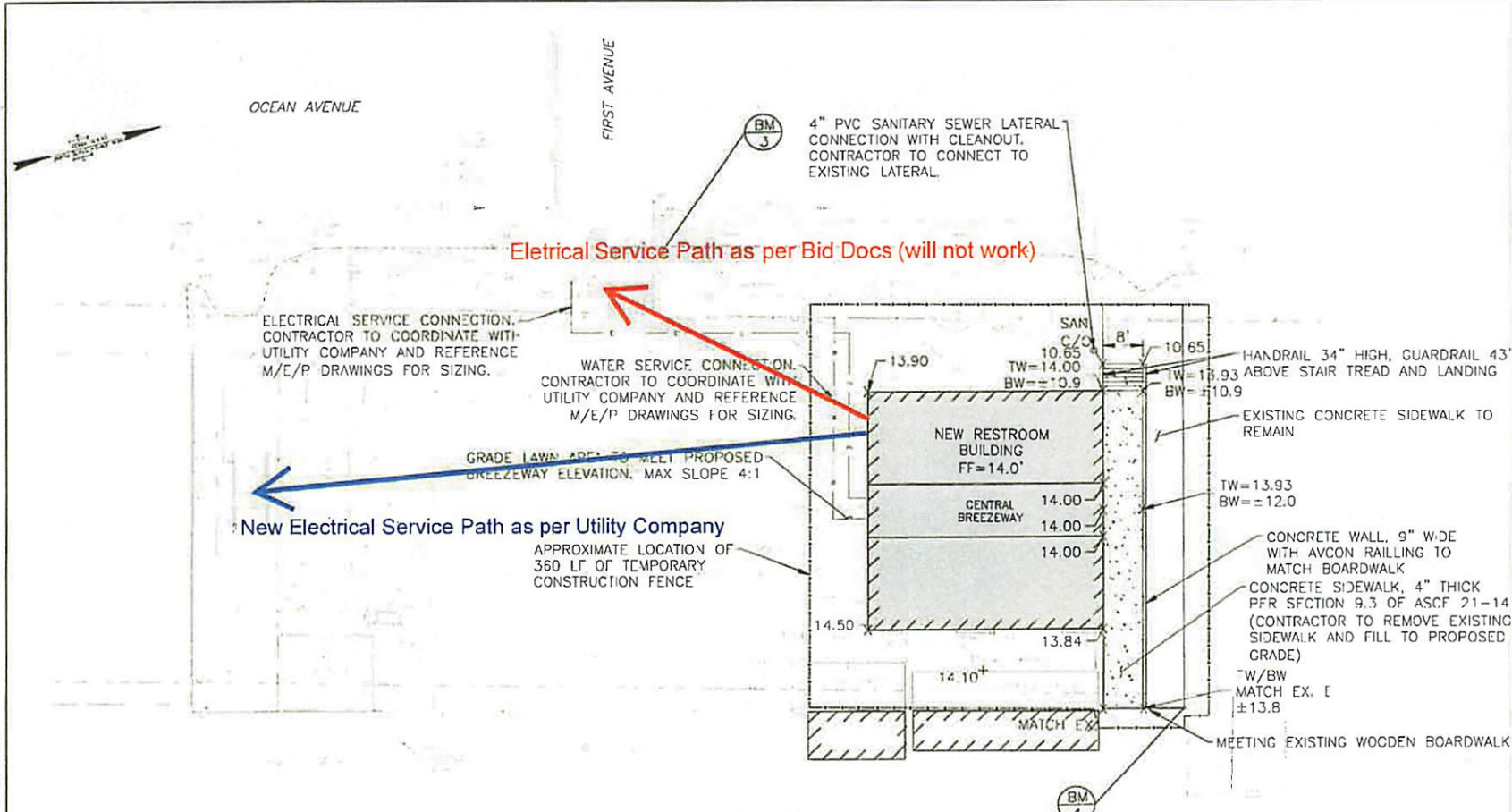
2807

17.8

Totals This Sheet Transferred To Recap By-INITIAL

MATERIAL

LABOR



CONSTRUCTION PLAN
FIRST AVENUE
NEW RESTROOM BUILDING #1
SCALE 1/8"

CONSTRUCTION NOTES:

1. SIDEWALK WIDTH VARIES. CONTRACTOR TO VERIFY FIELD CONDITIONS AND PLANS PRIOR TO PREPARING SIDEWALK LAYOUT.
2. CONTRACTOR TO COORDINATE WITH NEW JERSEY AMERICAN WATER COMPANY FOR WATER SERVICE CONNECTION.
3. CONTRACTOR TO COORDINATE WITH NEW JERSEY CENTRAL POWER AND LIGHT FOR ELECTRICAL SERVICE CONNECTION.

SOIL EROSION & SEDIMENT CONTROL NOTES:

1. IF WHEN INLET FILTERS ARE REQUIRED, CONTRACTOR SHALL INSTALL PRIOR TO CONSTRUCTION.
2. THROUGHOUT THE COURSE OF CONSTRUCTION, SILT FENCE SHALL BE INSTALLED IF WHEN EXPOSED SOIL AND/OR GRADING MAY RESULT IN SOIL EROSION.

CONSTRUCTION ITEMS - NEW RESTROOM BUILDING

SITE GRADING	SY	35
CONCRETE SIDEWALK, 4" THICK	SY	70
CONCRETE WALL, 9" WIDE WITH AVCON RAILING TO MATCH BOARDWALK	LF	70
TEMPORARY CONSTRUCTION FENCE	LF	360
BORROW TOPSOILING, 5" THICK	SY	35
FERTILIZING AND SEEDING, TYPE 'C'	SY	35
STRAW MULCH	SY	35



NO.	DATE	DESCRIPTION
1	11/11/2024	ISSUED FOR PERMITS
2	11/11/2024	ISSUED FOR CONSTRUCTION
3	11/11/2024	ISSUED FOR AS-BUILT

FRANCIS W. MULLAN, P.E., C.M.E.
PROJECT ENGINEER

CITY OF ASBURY PARK
BOARDWALK RESTROOM
CONSTRUCTION PLAN

YOUR GOALS, OUR MISSION

11 THICAL ROAD
MIDDLETOWN, NJ 07043
TEL: 973-271-1000
WWW.ASHPARKNJ.GOV

PROJECT NO. 2024-001
SHEET NO. 5 OF 5
DATE: 11/11/2024

CSP-1

5

9

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.



AIA® Document G701® – 2017

Change Order

PROJECT: *(Name and address)*
Asbury Park Boardwalk Restrooms

CONTRACT INFORMATION:
Contract For: General Construction
Date: October 14, 2025

CHANGE ORDER INFORMATION:
Change Order Number: 010
Date: 03-10-2026

OWNER: *(Name and address)*
City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

ARCHITECT: *(Name and address)*
Arcari + Iovino Architects, P.C.
One Katherine Street
Little Ferry, NJ 07643

CONTRACTOR: *(Name and address)*
Catel, Inc.
P.O. Box 1383
Belmar, NJ 07719

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Additional work required to connect new buildings to sewer (COR #10). Add \$47,410.00

The original Contract Sum was	\$ 3,058,400.00
The net change by previously authorized Change Orders	\$ 609,121.20
The Contract Sum prior to this Change Order was	\$ 3,667,521.20
The Contract Sum will be increased by this Change Order in the amount of	\$ 47,410.00
The new Contract Sum including this Change Order will be	\$ 3,714,931.20

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be 243 Calendar Days

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.



ARCHITECT *(Signature)*

BY: Ralph Justo, Partner
(Printed name, title, and license number if required)

3/11/2026

Date



CONTRACTOR *(Signature)*

BY: Dan Pires, V. President
(Printed name and title)

3/11/2026

Date

OWNER *(Signature)*

(Printed name and title)

Date



CATEL, INC.

PO Box 1383
Belmar, NJ 07719
Phone: (732) 570-3020
Fax: (732) 280-1325

CO PROPOSAL

CO Proposal #: GC-10

Date :
March 9, 2026

Customer:
City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

For:
Asbury Park Boardwalk Bathrooms
First & Fourth Avenues
Asbury Park, NJ 07712

Project #:
2416

DESCRIPTION	AMOUNT
CO Proposal #10 - Additional Work Required to Connect New Buildings to Sewer	
New Sewer Connections in Street at First Ave and Fourth Ave <i>(See attached Subcontractor Supporting Documentation)</i>	\$42,600.00
Catel Cost of Supervision, Field Personnel, Change Order Prep, etc as per AIA A201 Section 7.3.4.5	\$500.00
Catel OH/P (5% for OH/Bond/Insurance and 5% Profit)	\$4,310.00
TOTAL	\$47,410.00

If you have any questions concerning this proposal contact:

Dan Pires
732-570-3020
dan@catelinc.com

THANK YOU FOR YOUR BUSINESS!



AIA® Document G701® – 2017

Change Order

PROJECT: *(Name and address)*
Asbury Park Boardwalk Restrooms

CONTRACT INFORMATION:
Contract For: General Construction
Date: October 14, 2025

CHANGE ORDER INFORMATION:
Change Order Number: 011
Date: 03-11-2026

OWNER: *(Name and address)*
City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

ARCHITECT: *(Name and address)*
Arcari + Iovino Architects, P.C.
One Katherine Street
Little Ferry, NJ 07643

CONTRACTOR: *(Name and address)*
Catel, Inc.
P.O. Box 1383
Belmar, NJ 07719

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

Additional plumbing work for shower tower water lines (COR #11). Add 17,291.79

The original Contract Sum was	\$ 3,058,400.00
The net change by previously authorized Change Orders	\$ 656,531.20
The Contract Sum prior to this Change Order was	\$ 3,714,931.20
The Contract Sum will be increased by this Change Order in the amount of	\$ 17,291.79
The new Contract Sum including this Change Order will be	\$ 3,732,222.99

The Contract Time will be unchanged by Zero (0) days.
The new date of Substantial Completion will be 243 Calendar Days

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.



ARCHITECT *(Signature)*

BY: Ralph Justo, Partner

(Printed name, title, and license number if required)

3/11/2026

Date



CONTRACTOR *(Signature)*

BY: Dan Pires, V. President

(Printed name and title)

3/11/2026

Date

OWNER *(Signature)*

(Printed name and title)

Date



CATEL, INC.

PO Box 1383
Belmar, NJ 07719
Phone: (732) 570-3020
Fax: (732) 280-1325

CO PROPOSAL

CO Proposal #:

GC-11

Date :

March 9, 2026

Customer:

City of Asbury Park
1 Municipal Plaza
Asbury Park, NJ 07712

For:

Asbury Park Boardwalk Bathrooms
First & Fourth Avenues
Asbury Park, NJ 07712

Project #:

2416

DESCRIPTION	AMOUNT
CO Proposal #11 - Additional Plumbing Work for Shower Tower Water Lines	
New Water Supply/Connections in Mechanical Rooms at First Ave and Fourth Ave (See attached Subcontractor Supporting Documentation)	\$14,719.81
Catel Cost of Supervision, Coordination with Shower Contractor, Field Personnel, Change Order Prep, etc as per AIA A201 Section 7.3.4.5	\$1,000.00
Catel OH/P (5% for OH/Bond/Insurance and 5% Profit)	\$1,571.98
TOTAL	\$17,291.79

If you have any questions concerning this proposal contact:

Dan Pires
732-570-3020
dan@catelinc.com

THANK YOU FOR YOUR BUSINESS!

Annese Mechanical Inc.

Plumbing License Number 7079

1745 Lakewood Road - Suite 3

Toms River, NJ 08755

Phone: 732-363-7750 Fax: 732-363-7755

March 10, 2026

Catel, Inc.

PO Box 1383

Belmar, NJ 07719

Reference: Asbury Park Restrooms

CO #2 - Tie-In for Future Shower Towers

Material

2 length 2" L Copper @ \$298.50 length	\$597.00
2 - 3x3x2-1/2" Pro Press Tee @ \$325.00 each	650.00
2 - 3x2 Pro Press Reducer @ \$199.00 each	398.00
2 - 2" Pro Press Valves @ \$165.00 each	330.00
2 - 2" Pro Press Couplings @ \$45.00 each	90.00
1 length 3" L Copper	580.00
2 - 3" DI Flanges 90 @ \$265.00 each	530.00
2 - 3" DI Tee @ \$305.00 each	610.00
4 - 2" Pro Press Male Adapters @ \$59.85 each	239.40
2 - Pro Press Caps @ \$29.50 each	59.00
4 - 2" Pipe Stand @ \$65.00 each	260.00
8 - 2" Pro Press 90's @ \$48.89 each	391.21
2 - 2x3/4 Pro Press Tee @ \$7.39 each	14.78
2 - 3/4" Pro Press Female Adapter @ \$6.95 each	12.90
2 - Boil Drain Valves @ \$10.75 each	21.50
2 - 3" Pro Press Flanges @ \$2.98	596.00
2 - 3x2 Pro Press Reducer @ \$98.95 each	197.90
2 - 2" 009 Watts Reducer Back Flow @ \$1,400.00	2,800.00
2 - 009 Air Gaps @ \$165.00 each	330.00
4 - 2" PVC 90 @ \$2.25 each	9.00
1 can Glue & Primer	14.00
2 - 2" PVC Male Adapters @ \$1.97 each	3.94
1 length (20 ft.) 2" PVC Pipe	278.00
80 - 5/8 Bolts & Nuts @ \$1.40 each	112.00
Pipe Insulation (20' each of 2" & 3" each) @ \$8.75 ft	350.00

Labor

1 - Foreman - 12 hours for each building	
24 hours @ \$138.55 per hour	3,325.20

Subtotal	\$12,799.83
Profit and Overhead @ 15%	<u>\$1,919.98</u>
Total Amount Due	\$14,719.81

No work will be performed without a signed change order authorizing work to proceed.

All other work to be performed by others.

Annese Mechanical reserves his right for additional time, extended duration or impact costs related to this change, inspections, etc.

The above is understood and agreed to by:

Mr. Frank Annese
Annese Mechanical Inc.

Dan Pires
Catel, Inc.



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-166

Resolution authorizing a professional service contract to Lexipol for State Police Accreditation Maintenance in the amount of \$13,656.50 (year 3 of 3) from the Police O&E budget.



RESOLUTION - 2026-166

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION AUTHORIZING A PROFESSIONAL SERVICES CONTRACT FOR STATE POLICE ACCREDITATION MAINTENANCE

WHEREAS, the City has a need for professional service for the State Accreditation Maintenance for the Police Department; and

WHEREAS, the City has obtained the attached invoice from Lexipol totaling \$13,656.50; and

WHEREAS, this professional service is exempt from public bidding as per N.J.S.A. 40A:11-5(1)(a)(i) Professional Services; and

WHEREAS, the City Manager is hereby authorized to sign any contracts with the vendor; and

WHEREAS, the Chief Financial Officer has certified that funds are available in the Current Fund 6-01-25-240-000-237; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of Asbury Park, County of Monmouth, State of New Jersey, awards a contract for professional services related to the Police Accreditation to Lexipol in a not-to-exceed amount of \$13,656.50; and

NOW, THEREFORE, BE IT FURTHER RESOLVED that a copy of this Resolution be provided to the Police Director, CFO, City Manager and Director of Purchasing.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-__ which was finally adopted by the City Council at a meeting held on the __ day of ____, 2026

CERTIFIED BY ME THIS __ DAY OF ____, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



Invoice

#INVLHI11262930

12/1/2025

Bill To
Asbury Park Police Department
1 Municipal Plz
Asbury Park NJ 07712
United States

End User
Asbury Park Police Department

Terms	Due Date	PO #	Contract Term
Net 30	12/31/2025		1/1/2026 to 12/31/2026

Description	Qty	Rate	Amount
TRG State Annual Accreditation Management Service	1	\$13,656.50	\$13,656.50

Subtotal	\$13,656.50
Tax Total (%)	\$0.00
Invoice Total	\$13,656.50
Amount Paid	\$0.00
Amount Due	\$13,656.50

[Click here to submit your accounting inquiry](#)

Lexipol now has an easier way for you to view/pay your invoices. Please set up/login to your account today at LEXIPOL CUSTOMER PORTAL If you have difficulty logging in, please click on the reset password link, reset your password, and attempt logging in again.

Please Make Checks Payable to:
Lexipol LLC
PO Box 676232
Dallas, TX 75267-6232



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-167

Resolution Authorizing The Withdrawal Of A Bid And Authorizing Negotiations And Awarding Of A Contract Without The Need For Public Advertising Of Bids For Towing Services



RESOLUTION - 2026-167

**City of Asbury Park
County of Monmouth
State of New Jersey**

**RESOLUTION AUTHORIZING THE WITHDRAWAL OF A BID AND AUTHORIZING
NEGOTIATIONS AND AWARDING OF A CONTRACT WITHOUT THE NEED FOR
PUBLIC ADVERTISING OF BIDS FOR TOWING SERVICES**

WHEREAS, the City of Asbury Park is in need of municipal towing services; and

WHEREAS, on March 3, 2026, bids were advertised for Towing Services pursuant to N.J.S.A. 40A:11-1, et seq. Local Public Contracts Law; and

WHEREAS, it has been determined, towing services for 2026 will not reach the bid threshold of \$53,000 and that it is in the best interest to negotiate a contract for Towing Services; and

WHEREAS, on March 13, 2026, the City of Asbury Park withdrew the bid specification for Towing Services and notified all prospective bidders; and

WHEREAS, the City has solicited and obtained quotes from Rich's Auto Body, Brothers Towing, Bennetts Auto Recovery and Samuel Auto Body; and

WHEREAS, all four vendors have reviewed and confirmed compliance with the City of Asbury Park Ordinance #2025-25 and will only charge twenty dollars per tow for municipal and police vehicles; and

WHEREAS, the City of Asbury Park is desirous of awarding a contract for towing services to Rich's Auto Body, Brothers Towing, Bennetts Auto Recovery and Samuel Auto Body with all four vendors to be utilized on a rotating schedule as needed; and

WHEREAS, the Chief Financial Officer has certified that funds are available in the following account 6-01-25-240-000-204. The maximum dollar value of the pending contract is as set forth in the resolution.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Council of the City of Asbury Park (the "City"), in the County of Monmouth, State of New Jersey authorize a contract for

towing services with Rich's Auto Body, Brothers Towing, Bennetts Auto Recovery and Samuel Auto Body and a copy of this Resolution shall be provided to the Police Director, City Manager, CFO and Director of Purchasing.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-__ which was finally adopted by the City Council at a meeting held on the __ day of __, 2026

CERTIFIED BY ME THIS __ DAY OF __, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-168

Resolution of the Mayor and Council of The City of Asbury Park, Acting in its Capacity as the Waterfront Redevelopment Entity, Authorizing the Issuance of a Certificate of Completion to AP Block 4001 Venture Urban Renewal LLC for the Redevelopment Project Located upon the Property Located at 1150 Kingsley Street (Block 4001, Lot 2.01), 201-203 Third Avenue (Block 4001, Lot 2.02), and 202-204 Fourth Avenue (Block 4001, Lot 2.03) known as Surfhouse



RESOLUTION - 2026-168

**City of Asbury Park
County of Monmouth
State of New Jersey**

RESOLUTION OF THE MAYOR AND COUNCIL OF THE CITY OF ASBURY PARK, ACTING IN ITS CAPACITY AS THE WATERFRONT REDEVELOPMENT ENTITY, AUTHORIZING THE ISSUANCE OF A CERTIFICATE OF COMPLETION TO AP BLOCK 4001 VENTURE URBAN RENEWAL LLC FOR THE REDEVELOPMENT PROJECT LOCATED UPON THE PROPERTY LOCATED AT 1150 KINGSLEY STREET (BLOCK 4001, LOT 2.01), 201-203 THIRD AVENUE (BLOCK 4001, LOT 2.02), AND 202-204 FOURTH AVENUE (BLOCK 4001, LOT 2.03) KNOWN AS SURFHOUSE

WHEREAS, pursuant to that certain Subsequent Developer Agreement by and among the City of Asbury Park, Asbury Partners, LLC and AP Block 4001 Venture Urban Renewal LLC (“**Redeveloper**”) dated March 19, 2021, as same has been amended (the “**SDA**” or “**Redeveloper Agreement**”), undertook the construction of a mixed use project known as Surfhouse (“**Project**”) upon the real property located upon 1150 Kingsley Street (Block 4001, Lot 2.01), 201-203 Third Avenue (Block 4001, Lot 2.02), and 202-204 Fourth Avenue (Block 4001, Lot 2.03) (collectively, the “**Property**”); and

WHEREAS, Section 4.07 (b) of the SDA provides that following the issuance of all final Certificates of Occupancy, and satisfaction of the terms and conditions of the SDA, and upon request for same by the Redeveloper, the City will issue a Certificate of Completion which shall acknowledge that the Redeveloper has performed all of its duties under the SDA and has completed construction of the Project in accordance with the requirements of the SDA and which shall constitute a recordable conclusive determination of the satisfaction and termination of the agreements and covenants with respect to the Project as set forth in the SDA and the Redevelopment Plan regarding Redeveloper’s obligations to construct the Project within the dates for completion of same; and

WHEREAS, the Redeveloper has requested that the City issue a Certificate of Completion for the Project and submits that, but for certain limited gravel and concrete work which is weather-dependent (“**Limited Site Work**”), it has complied with all requirements of the SDA and the Governmental Approvals for the Project and that Final Certificates of Occupancy have been issued for the Units; and

WHEREAS, the City Council finds that once the Limited Site Work has been completed and

inspected, the Redeveloper will have satisfactorily completed the work required in connection with the construction of the Project under the terms of the SDA; and

WHEREAS, by issuance of a Certificate of Completion, the City acknowledges that the conditions that were found and determined to exist with respect to the Property at the time the Property was determined to be in need of redevelopment shall be deemed to no longer exist and the Property and Project shall no longer be subject to the possibility of eminent domain as a result of those determinations.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and the City Council of the City of Asbury Park, acting as the City's Redevelopment Entity, as follows:

1. **Recitals.** The Recitals are fully incorporated herein.
2. **Issuance of Certificate of Completion.** Conditioned upon completion of the Limited Site Work and an inspection and written approval of same on behalf of the City, the Mayor or his designee is hereby authorized, in consultation with redevelopment counsel and all necessary City officials, employees and professionals, to execute and deliver the Certificate of Completion for the Surfhouse Project in substantially the form attached hereto as **EXHIBIT A**, and other such documents as are necessary to facilitate the transactions contemplated hereby, and with such changes, insertions and omissions thereto as the Mayor, after consultation with counsel to the City, including redevelopment counsel and bond counsel to the City, deems in the Mayor's sole discretion to be necessary or desirable for the execution thereof, which authorization thereof shall conclusively evidence the Mayor's consent to any such changes thereto.
3. **Attestation and Sealing of the Certificate of Completion.** The Clerk of the City is hereby authorized and directed, upon the execution of the Certificate of Completion, to attest to the signature of the Mayor upon such document and is hereby further authorized and directed thereupon to affix the corporate seal of the City upon such document.
4. **Recording.** The Redeveloper shall provide a recorded copy of the Certificate of Completion to the City Clerk and to the City's redevelopment counsel.
5. **Payment of Outstanding Costs.** This Resolution shall take effect immediately, subject only to the conditions regarding the completion of the Limited Site Work and the payment of any outstanding fees and costs that may be due and owing to the City by the Redeveloper related to the review of the request for the Certificate of Completion, together with the payment of any outstanding taxes, payments or other monies which may be due and owing to the City of Asbury Park, as may be applicable.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-___ which was finally adopted by the City Council at a meeting held on the ___ day

of ____, 2026

CERTIFIED BY ME THIS __ DAY OF ____, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK

Record and Return to:
Jennifer Phillips Smith, Esq.
Gibbons P.C.
One Gateway Center
Newark, New Jersey 07102

CERTIFICATE OF COMPLETION
Block 4001, Lots 2.01, 2.02, and 2.03 (formerly Lots 2-15)
City of Asbury Park

(Record in Mortgage Book)

This Certificate of Completion (this “**Certificate**”) is made this ____ day of _____, 2026 by the **CITY OF ASBURY PARK** (the “**City**”), a public body corporate and politic of the State of New Jersey having its offices at 1 Municipal Plaza, Asbury Park, New Jersey 07712, in its capacity as redevelopment entity pursuant to *N.J.S.A. 40A:12A-4(c)*.

W I T N E S S E T H

WHEREAS, pursuant to the *Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1, et seq.* (as amended and supplemented, the “**Act**”), the City, Asbury Partners, LLC, and AP Block 4001 Venture Urban Renewal LLC (the “**Redeveloper**”) entered into that certain Subsequent Redeveloper Agreement dated March 19, 2021, as amended by the First Amendment to Subsequent Developer Agreement dated July 18, 2022, as amended by the Second Amendment to Subsequent Developer Agreement dated January 18, 2023, as amended by the Third Amendment to Subsequent Developer Agreement dated July 21, 2023, and as further amended by the Fourth Amendment to Subsequent Developer Agreement dated November 8, 2023 (collectively, the “**Redeveloper Agreement**”) for the redevelopment of 1150 Kingsley Street (Block 4001, Lot 2.01), 201-203 Third Avenue (Block 4001, Lot 2.02), and 202-204 Fourth Avenue (Block 4001, Lot 2.03) (collectively, the “**Property**”) and construction of the Project (as such term is defined in the Redeveloper Agreement) thereon; and

WHEREAS, pursuant to the Redeveloper Agreement, a Declaration of Covenants and Restrictions affecting the Property dated April 20, 2021 was recorded in Book OR-9503, Page 641 in the Monmouth County Clerk’s Office (the “**Declaration**”); and

WHEREAS, the Redeveloper has satisfactorily completed the Project pursuant to, and in accordance with, the terms of the Redeveloper Agreement and otherwise complied with the requirements of the Redeveloper Agreement; and

WHEREAS, the Redeveloper has obtained Final Certificates of Occupancy for the Project from the City Construction Official; and

WHEREAS, this Certificate is issued pursuant to Section 4.07(b) of the Redeveloper Agreement; and

NOW THEREFORE, IT IS HEREBY CERTIFIED by the undersigned as follows:

Section 1. By issuance of this Certificate, the City acknowledges that the Redeveloper has performed all of its duties and obligations with respect to the Project under the Redeveloper Agreement and has completed construction of the Project in accordance with the requirements of the Redeveloper Agreement.

Section 2. This Certificate, which shall be recorded, constitutes a conclusive determination of the satisfaction and termination of the Redeveloper's responsibilities and covenants to construct the Project within the dates for completion set forth in the Redeveloper Agreement and the Redevelopment Plan (as such term is defined in the Redeveloper Agreement), except for those matters which by the terms of the Redeveloper Agreement are intended to, or by the operation of Applicable Laws (as defined in the Redeveloper Agreement) are required to, survive such termination.

Section 3. By issuance of this Certificate, the City acknowledges that the conditions that were found and determined to exist with respect to the Property at the time the Property was determined to be in need of redevelopment shall be deemed to no longer exist and the Property and Project shall no longer be subject to the possibility of eminent domain as a result of those determinations.

Section 4. The Declaration is hereby discharged of record, void, and of no further force and effect.

Section 5. This Certificate is given without prejudice to any rights against third parties which exist on the date hereof or which may subsequently come into being.

[Signature Page Follows]

IN WITNESS WHEREOF, the undersigned has caused this Certificate to be executed as of the date first written above.

ATTEST:

CITY OF ASBURY PARK

By: _____ By: _____
City Clerk Hon. John Moor,
Mayor

STATE OF NEW JERSEY :

SS:

COUNTY OF MONMOUTH :

BE IT REMEMBERED, that on this ____ day of _____, 2026 before me, the subscriber, a Notary Public of New Jersey, personally appeared _____, who, being by me duly sworn on his oath, deposes and makes proof to my satisfaction that he is the City Manager of the CITY OF ASBURY PARK, NEW JERSEY, the entity named in the within Instrument, who I am satisfied is the person who executed the foregoing Instrument; that the execution, as well as the making of the Instrument, have been duly authorized by Resolution _____ of the City of Asbury Park and said Instrument was signed and delivered by said City Manager Adam Cruz as and for the voluntary act and deed of said entity.

Notary Public



Individual Resolutions
Meeting of the Municipal Council
Wednesday, March 25, 2026
RESOLUTION SUMMARY

2026-169

Resolution Of The City Of Asbury Park In Support Of Senate Bill 399 Requiring Ownership Information When Residential Rental Housing Is Purchased By Limited Liability Corporations



RESOLUTION - 2026-169

**City of Asbury Park
County of Monmouth
State of New Jersey**

**RESOLUTION OF THE CITY OF ASBURY PARK IN SUPPORT OF SENATE BILL
399 REQUIRING OWNERSHIP INFORMATION WHEN RESIDENTIAL RENTAL
HOUSING IS PURCHASED BY LIMITED LIABILITY CORPORATIONS**

WHEREAS, Legislation (S399) has been introduced that requires Limited Liability Corporations that purchase residential properties for rental to provide contact information to be filed with the County Clerk's Office; and

WHEREAS, Many municipalities are having problems enforcing existing ordinances because these properties' ownership is hidden behind a veil of anonymous corporate structures; and

WHEREAS, To combat this issue, the bill requires the company to submit for recording, together with the deed, an affidavit containing the name and business address of the registered agent and the following information of each beneficial owner for service of process of the limited liability company: (1) full legal name; (2) date of birth; (3) current business street address; and (4) a unique identifying number from an acceptable identification document.

WHEREAS, The bill would also permit a municipality to direct, by ordinance, that charges issued to certain limited liability companies or foreign limited liability companies pursuant to a housing code, building code, or health code, or penalties pursuant to the bill will become a lien on the property if the charge remains unpaid on the first day of the 13th month next following the date when the charge becomes due and owing

NOW, THEREFORE BE IT RESOLVED, the municipality of the City of Asbury Park endorses legislation S399 and calls upon the New Jersey Legislature to pass, and Governor Sherrill to sign, said bill into law.

BE IT FURTHER RESOLVED, that a certified copy of this Resolution be forwarded to New Jersey State Senator Vin Gopal, New Jersey Assemblywoman Margie Donlon, M.D, New Jersey Assemblywoman Luanne Peterpaul, Speaker Coughlin, Senate President Scutari, and Governor Mikie Sherrill.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New

Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of RESOLUTION NO. 2026-__ which was finally adopted by the City Council at a meeting held on the __ day of __, 2026

CERTIFIED BY ME THIS __ DAY OF __, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



ORDINANCE - 2026-7

**City of Asbury Park
County of Monmouth
State of New Jersey**

2026 CAP RATE ORDINANCE

WHEREAS, the Local Government Cap Law, N.J.S.A. 40A:4-45.1 et seq., provides that in the preparation of its annual budget, a municipality shall limit any increase in said budget up to 2.0% unless authorized by ordinance to increase it to 3.5% over the previous year's final appropriations, subject to certain exceptions; and

WHEREAS, N.J.S.A. 40A:4-45.15a provides that a municipality may, when authorized by ordinance, appropriate the difference between the amount of its actual final appropriations and the 3.5% percentage rate as an exception to its final appropriations in either of the next two succeeding years; and

WHEREAS, the City Council of the City of Asbury Park in the County of Monmouth finds it advisable and necessary to increase its CY 2026 budget by up to 3.5% over the previous year's final appropriations, in the interest of promoting the health, safety and welfare of the citizens; and

WHEREAS, the City Council hereby determines that a 1.5% increase in the budget for said year, amount to \$805,078.89. In excess of the increase in final appropriations otherwise permitted by the Local Government Cap Law, is advisable and necessary; and

WHEREAS, City Council hereby determines that any amount authorized hereinabove that is not appropriated as part of the final budget shall be retained as an exception to final appropriation in either of the next two succeeding years.

NOW THEREFORE BE IT ORDAINED, by the City Council of the City of Asbury Park, in the County of Monmouth, a majority of the full authorized membership of this governing body affirmatively concurring, that, in the CY 2026 budget year, the final appropriations of the City of Asbury Park shall, in accordance with this ordinance and N.J.S.A. 40A: 4-45.14, be increased by 3.5%, amounting to \$1,878,517.41. And the CY 2026 municipal budget for the City of Asbury Park be approved and adopted in accordance with the ordinance; and

BE IF FURTHER ORDAINED, that any amount authorized hereinabove that is not appropriated as part of the final budget shall be retained as an exception to final appropriation in either of the next two succeeding years; and

BE IT FURTHER ORDAINED, that a certified copy of this ordinance as introduced be filed with the Director of the Division of Local Government Services within 5 days of introduction; and

BE IT FURTHER ORDAINED, that a certified copy of this ordinance upon adoption, with the recorded vote included thereon, be filed with said Director within 5 days after such adoption.

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of ORDINANCE NO. 2026-7 which was finally adopted by the City Council at a meeting held on the ____ day of March, 2026

CERTIFIED BY ME THIS ____ DAY OF March, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK



ORDINANCE - 2026-8

**City of Asbury Park
County of Monmouth
State of New Jersey**

ORDINANCE OF THE CITY OF ASBURY PARK AMENDING THE CITY CODE TO RE-LOCATE THE TREE REMOVAL AND REPLACEMENT ORDINANCE INTO A NEW CHAPTER 23, TO BE ENTITLED “TREE REMOVAL AND REPLACEMENT” AND TO MAKE MINOR CHANGES

WHEREAS, the City of Asbury Park (the “City”) previously adopted a Tree Removal and Replacement ordinance, as required by the NJDEP, which is entitled “Tree Removal and Replacement Requirements” and is codified at § STC 1-7.3 of “The Code of the City of Asbury Park” (also referenced as the “City Code”); and

WHEREAS, the City now desires to amend the City Code to re-locate the Tree Removal ordinance into another Code section, to remove the Shade Tree Commission as the enforcing authority, and to make minor changes to the ordinance; and

WHEREAS, the provisions to be revised are more specifically identified below.

NOW, THEREFORE, BE AND IT IS HEREBY ORDAINED, by the Mayor and City Council of the City of Asbury Park, in the County of Monmouth and State of New Jersey, as follows:

Section 1: The City Code is hereby amended to create a new Chapter 23, to be entitled “Tree Removal and Replacement” and to re-locate existing Code section STC-1-7.3 in its entirety into Chapter 23.

Section 2: The newly created Chapter 23 shall now read as follows, with the changes from STC 1-7.3 as indicated (~~strike throughs~~ to be deleted; underlined to be added):

Chapter 23 TREE REMOVAL AND REPLACEMENT

§ 23-1.1 ~~STC1-7.3~~. Tree Removal and Replacement Requirements.

The following provisions establish requirements for tree removal and replacement within the City of Asbury Park to reduce soil erosion and pollutant runoff, promote infiltration of rainwater into the soil,

reduce heat island effect, improve air quality, and protect the environment, public health, safety, and welfare.

Definitions. The following terms, phrases, words, and their derivations shall have the meanings stated herein unless their use in the text of this section clearly demonstrates a different meaning. When consistent with the context, words used in the present tense include the future, words used in the plural number include the singular number, and words used in the singular number include the plural number. The use of the word "shall" means the requirement is always mandatory and not merely directory.

APPLICANT — Shall mean any "person", as defined below, who applies for approval to remove trees regulated under this section.

ASBURY PARK ENVIRONMENTAL/SHADE TREE COMMISSION (ESTC) — Shall mean the official name of the Shade Tree Commission of Asbury Park.

ASBURY PARK TREE REPLACEMENT FUND — Shall mean a fund established by the City of Asbury Park for the express purpose of planting and maintaining trees on public property. The fund may also be used for consulting fees for administration of the Tree Removal and Replacement Ordinance.

CITY — Shall mean the City of Asbury Park.

CRITICAL ROOT RADIUS (CRR) — Shall mean the zone around the base of a tree where the majority of the root system is found. This zone is calculated by multiplying the diameter at breast height (DBH) of the tree by 1.5 feet. For example: a tree with a six inches DBH would have a CRR = 6"x1.5' = 9'.

DIAMETER AT BREAST HEIGHT (DBH) — Shall mean the diameter of the trunk of a mature tree generally measured at a point four and a half feet above ground level from the uphill side of the tree. For species of trees where the main trunk divides below the 4 1/2 foot height, the DBH shall be measured at the highest point before any division.

HAZARD TREE — Shall mean a tree or limbs thereof that meet one or more of the criteria below. Trees that do not meet any of the criteria below and are proposed to be removed solely for development purposes are not hazard trees.

Has an infectious disease or insect infestation;

Is dead or dying;

Obstructs the view of traffic signs or the free passage of pedestrians or vehicles, where pruning attempts have not been effective;

Is causing obvious damage to structures not able to be repaired or remediated by other means; or

Is determined to be a threat to public health, safety, and/or welfare by a certified arborist or Licensed Tree Expert (LTE).

INVASIVE TREES — Shall mean species of trees introduced ~~deliberately or unintentionally~~ outside their natural habitats where they have the ability to establish themselves, invade, out- compete natives and take over the new environments. Invasive trees are those trees recognized by the New Jersey Department of Environmental Protection and those on the most recent New Jersey Invasive Species Strike Team "Do Not Plant List."

PERSON — Shall mean any individual, resident, corporation, utility, company, partnership, firm, or association.

PLANTING STRIP — Shall mean the part of a street right-of-way between the public right-of-way and the portion of the street reserved for vehicular traffic or between the abutting property line and the curb or traveled portion of the street, exclusive of any sidewalk.

RESIDENT — Shall mean an individual who resides on the residential property or contractor hired by the individual who resides on the residential property where a tree(s) regulated by this section is removed or proposed to be removed.

STREET TREE — Shall mean a tree planted in the sidewalk, planting strip, and/or in the public right-of-way. This also includes trees planted in planting strips within the roadway right-of-way, i.e., islands, medians, pedestrian refuges.

TREE — Shall mean a woody perennial plant, typically having a single stem or trunk growing to a considerable height and bearing lateral branches at some distance from the ground.

TREE CALIPER — Shall mean the diameter of the trunk of a young tree, measured six inches from the soil line. For young trees whose caliper exceeds four inches, the measurement is taken 12 inches above the soil line.

TREE EXPERT – Shall mean a professional certified by the NJ Board of Tree Experts as a Licensed Tree Expert (LTE) or an ISA Certified Arborist who has passed rigorous examinations and met specific educational/experience requirements in the science or arboriculture.

TREE REMOVAL — Shall mean to kill or to cause irreparable damage that leads to the decline and/or death of a tree. This includes, but is not limited to, excessive pruning, application of substances that are toxic to the tree, over-mulching or improper mulching, and improper grading and/or soil compaction within the critical root radius around the base of the tree that leads to the decline and/or death of a tree. Removal does not include responsible pruning and maintenance of a tree, or the application of treatments intended to manage invasive species.

Tree Removal Application Process.

Any person who would like to remove:

A Street Tree with DBH of 2.5 inches or more, or

Any non-Street Tree with DBH of six inches or more on their property,

Shall submit a completed Tree Removal Application and the Application fee of \$25 to the City of Asbury Park Department of Public Works. No tree shall be removed until municipal officials have reviewed and approved the removal.

In addition to the application, the applicant must submit a sketch or site plan showing all existing and proposed structures, walkways, driveways, pools, etc., and the location of the trees to be removed and the proposed location of the replacement tree(s). Trees to be removed should be marked with a ribbon for clear identification by the ~~ESTC member or Licensed~~ Tree Expert who will be inspecting the site.

Within 30 business days of receipt of the application, the ~~ESTC or Licensed~~ Tree Expert or designee from the Department of Public Works shall:

Visit and inspect the location and trees that are subject to the application.

If necessary, meet with the applicant on site.

Grant or deny the application in part or in whole or make recommendations that would make the

application acceptable to the ~~ESTC or Licensed~~ Tree Expert, in writing.

It is the responsibility of the applicant to dispose of all branches, trunk, and debris.

All trees removed from the Planting Strip must have their trunk removed to eight inches - 12 inches below grade and backfilled to grade.

Tree Replacement Requirements.

Any person who removes one or more Street Tree(s) with a DBH of 2.5 inches or more or tree on their property with DBH of six inches or more unless exempt under paragraph g below, shall be subject to the requirements of Table A: Tree Replacement Requirements. Tree Replacement Fees are applied if the applicant prefers to pay for replacement trees to be planted at the agreed upon site or does not replace the tree(s) within the required timeframe. Replacement trees must be planted in accordance with Asbury Park City Code subsection 30.57.12 Street Tree, Landscaping and Planting Requirements.

Tree Removed (DBH)	Required Number of Replacement Trees (2 inches Caliper) per Tree Removed or Destroyed	Tree Replacement Fee in Lieu of Planting
DBH of 2.5 inches (street trees) or 6 inches (private property trees) to 12.99 inches	1	\$500
DBH of 13 inches to 22.99 inches	2	\$1,000
DBH of 23 inches to 32.99 inches	3	\$1,500
DBH of 33 inches or greater	4	\$2,000

The species type and diversity of replacement trees shall be approved by either: (i) the Tree Expert; or (ii) the designated DPW employee in consultation with an ESTC representative and be consistent with the guidance provided in the Asbury Park Community Forestry Management Plan. ~~the ESTC and be consistent with the guidance provided by the Monmouth County Department of Public Works and Engineering, Trees for Monmouth County.~~ Tree selection and must consider the The planting site, including proximity to buildings, the width of the planting strip and whether utility wires will interfere with the tree's future growth, must be considered. The planting of Invasive Tree species is prohibited.

Property owners must plant replacement trees ~~Replacement trees must be planted~~ within 6 ~~12~~ months of the date of removal of the original tree(s). If trees have not been planted in accordance with the approved permit requirements, the property owner will be assessed a fee in accordance with Table A for the trees

~~that have been removed and not replaced; or at an alternative date specified by the City;~~

Replacement trees must be monitored and watered by the applicant for a period of two years to ensure their survival and shall be replaced as needed within 12 months; and

Replacement trees shall not be planted in temporary containers or pots, as these do not count towards tree replacement requirements.

Tree Replacement Alternative.

If the City determines that some or all required replacement trees cannot be planted on the property where the tree removal activity occurred, then the applicant shall:

~~Plant replacement tree(s), in consultation with the ESTC and in accordance with the requirements outlined in Section d above in a separate area(s) approved by the City, or~~

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(a) Pay a Tree Replacement Fee in accordance with the schedule outlined in Table A above. This fee shall be placed into The Asbury Park Tree Replacement Fund.

Exemptions. All persons shall comply with the tree replacement standard outlined above, except in the cases detailed below. Proper justification shall be provided, in writing, to the City by all persons claiming an exemption. An application must be submitted for an exemption and approved by the City. The following exemptions are applicable:

Any trees removed as part of a municipal or state decommissioning plan. This exemption only includes trees planted as part of the construction and predetermined to be removed in the decommissioning plan.

Any trees removed pursuant to a New Jersey Department of Environmental Protection (NJDEP) or U.S. Environmental Protection Agency (EPA) approved environmental clean-up, or NJDEP approved habitat enhancement plan;

Approved game management practices, as recommended by the State of New Jersey Department of Environmental Protection, Division of Fish, Game and Wildlife;

Hazard trees may be removed with no replacement requirement. However, an application and fee must be submitted to the City and approved.

Enforcement. This section shall be enforced by the Asbury Park Police Department and/or Code Enforcement during the course of ordinary enforcement duties.

Violations and Penalties. Any person who shall violate any of the provisions of this section and any person who aids, abets or assists therein, shall, upon conviction thereof by the Judge, be subject to one or more of the following penalties for each offense or violation: (1) a fine of not less than \$500 nor exceeding \$2,000; (2) imprisonment for a term not exceeding 30 days in the County Jail, or in any place provided by the municipality for the detention of prisoners; or (3) the performance of community service for a period of not more than 90 days.

Annual Report. The ~~Shade Tree Commission~~ Department of Public Works shall provide a written report to the City Council annually on the number of applications that were granted or denied pursuant to this Chapter and the number of trees removed and replaced. The report shall include the fees, penalties and assessments collected and disbursed for tree plantings. ~~dispersed to the Asbury Park ESTC.~~ The report

shall be submitted by February 1 of each year regarding the preceding year's activities.

The City shall maintain records of the removal or planting of any trees within the public right-of-way.

Section 3. All parts and provisions of any Ordinance which are inconsistent with the provisions of this Ordinance shall be repealed to the extent of such inconsistency.

Section 4. The provisions of this Ordinance shall be severable. In the event that any portion of this Ordinance is found to be invalid for any reason by any Court of competent jurisdiction, such judgment shall be limited in its effect only to the portion of the Ordinance actually adjudged invalid and shall not be deemed to affect the operation of any other portion thereof, which shall remain in full force and effect.

Section 5. This Ordinance shall take effect upon final passage and publication in accordance with the law, following the required twenty (20) day period after adoption, as set forth in N.J.S.A. 40:69A-181(b).

I, ANTHONY CUCCI, City Clerk of the City of Asbury Park, Monmouth County, New Jersey, DO HEREBY CERTIFY the foregoing to be a true and exact copy of ORDINANCE NO. 2026-8 which was finally adopted by the City Council at a meeting held on the ____ day of March, 2026

CERTIFIED BY ME THIS ____ DAY OF March, 2026.

Anthony Cucci, City Clerk

ANTHONY CUCCI
CITY CLERK